AGENDA

ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
***JULY 9, 2024* IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM**

NOTES ABOUT PUBLIC PARTICIPATION = RED

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2024-025 (ANGELICA GUEVARA)**
Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a *Site Plan* for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* (*i.e. HteaO*) on a 0.676-acre parcel of land identified a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [*SH-205*] and FM-549, and take any action necessary.

(2) **SP2024-031 (HENRY LEE)**
Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan* for *Heavy Manufacturing Facility* (*i.e. Ballard*) on a 32.00-acre portion of a larger 77.148-acre tract of land identified as Tract 6 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

(3) **SP2024-032 (HENRY LEE)**
Discuss and consider a request by Salvador Salcedo for the approval of a *Site Plan* for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on *July 5, 2024* prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

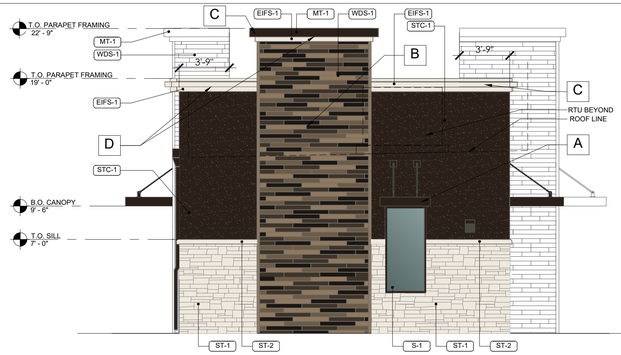
CITY OF ROCKWALL

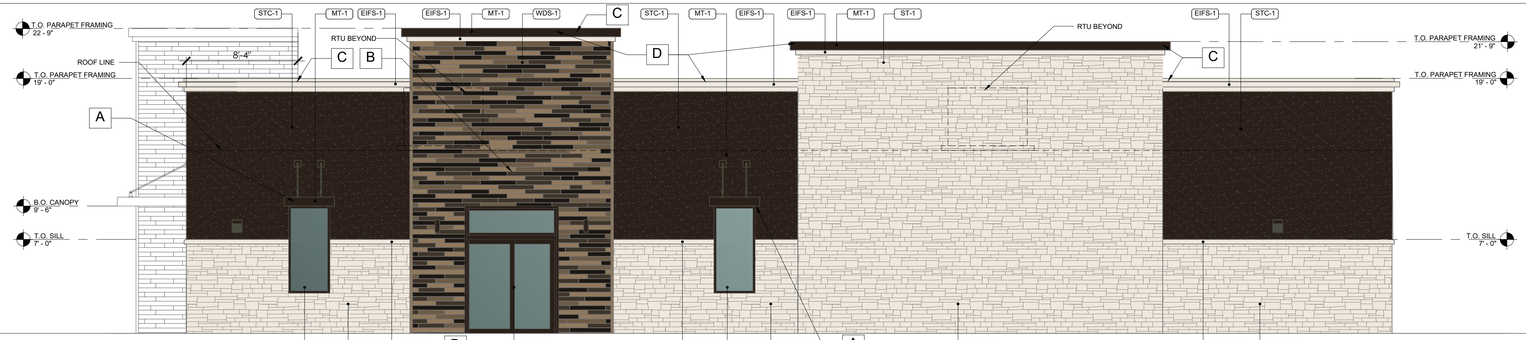
PLANNING AND ZONING COMMISSION MEMORANDUM

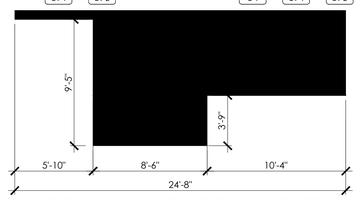
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	July 9, 2024
APPLICANT:	Keaton Mai; *The Dimension Group*
CASE NUMBER:	SP2024-025; *Site Plan for a Restaurant 2,000 SF or More w/ Drive Through or Drive in*

On June 25, 2024, the Planning and Zoning Commission approved a motion to table *Case No. SP2024-025* to the July 9, 2024 Planning and Zoning Commission meeting to allow the applicant time to receive authorization from HTeaO's corporate office to comply with the recommendation made by the Architectural Review Board (ARB) relating to the color of the stucco on the proposed building. This motion was approved by a vote of 6-0, with one (1) vacant seat. Given this, the applicant has submitted new building elevations showing the proposed stucco color, which appears to conform to the ARB's recommendation. Staff should note that these new building elevations will be reviewed for recommendation by the ARB prior to the *July 9, 2024* Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning this case, staff will be available at the *July 9, 2024* meeting.



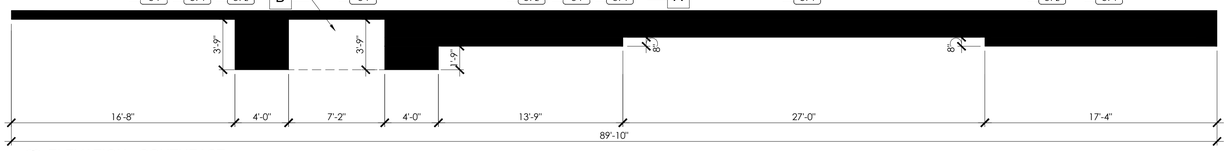




1 ELEVATION - SOUTHWEST (ADJACENT TO R.O.W.)
3/16" = 1'-0"

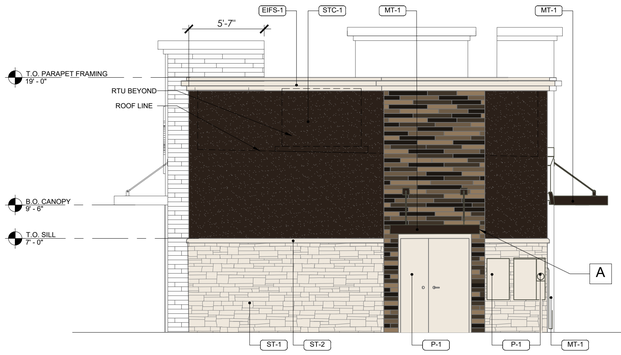
Southwest Elevation Materials	SF	Percent
ST-1	95 sf	20.0%
ST-2	5 sf	1.0%
WDS-1	184 sf	38.0%
STC-1	167 sf	35.0%
EIFS-1	20 sf	4.0%
MT-1	9 sf	2.0%
Total	480 sf	100%

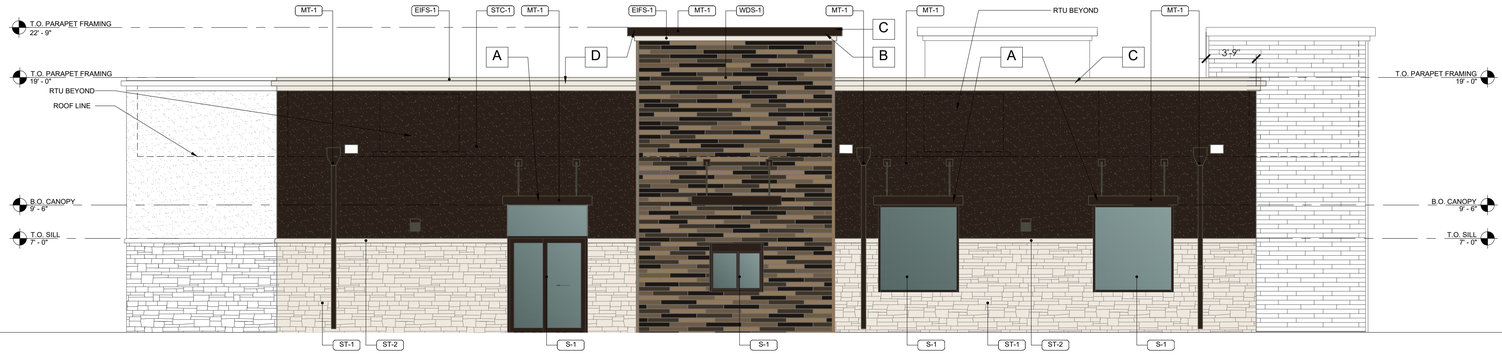
ALL PARAPETS SHALL BE EXTENDED BACK AND FINISHED ON BACK SIDE SAME AS FRONT

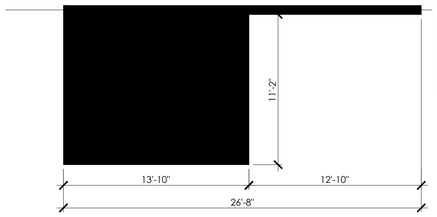


2 ELEVATION - SOUTHEAST
3/16" = 1'-0"

Southeast Elevation Materials	SF	Percent
ST-1	858 sf	50.0%
ST-2	14 sf	1.0%
WDS-1	263 sf	15.0%
STC-1	503 sf	29.0%
EIFS-1	45 sf	3.0%
MT-1	33 sf	2.0%
Total	1,716 sf	100%

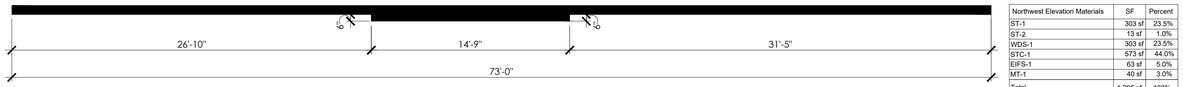






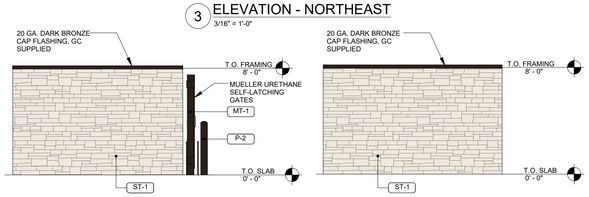
3 ELEVATION - NORTHEAST
3/16" = 1'-0"

Northeast Elevation Materials	SF	Percent
ST-1	128 sf	27.0%
ST-2	7 sf	1.0%
WDS-1	92 sf	20.0%
STC-1	211 sf	45.0%
EIFS-1	27 sf	6.0%
MT-1	4 sf	1.0%
Total	469 sf	100%



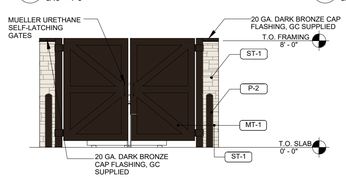
4 ELEVATION - NORTHWEST
3/16" = 1'-0"

Northwest Elevation Materials	SF	Percent
ST-1	303 sf	23.5%
ST-2	13 sf	1.0%
WDS-1	303 sf	23.5%
STC-1	573 sf	44.0%
EIFS-1	63 sf	5.0%
MT-1	40 sf	3.0%
Total	1,295 sf	100%



5 DUMPSTER ENCL. ELEVATION - SIDE
3/16" = 1'-0"

6 DUMPSTER ENCL. ELEVATION - REAR
3/16" = 1'-0"



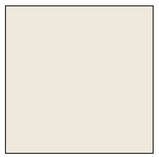
7 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"

MATERIAL SCHEDULE

WDS-1
COMPOSITE WOOD
NEWTECH WOOD
AN EQUAL MIX OF THE FOLLOWING:
BRAZILIAN IPE
HAWAIIAN CHARCOAL
PERUVIAN TEAK
SPANISH WALNUT

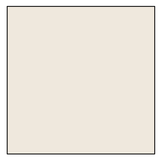
ST-1
NATURAL STONE
AUSTIN LIMESTONE
THIN VENEER
WHITE ON WHITE

STC-1
THREE STEP STUCCO
FINE PEBBLE FINISH
PAINT (SW7048) URBANE BRONZE

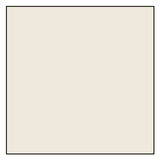


EIFS-1
DRYVIT
FINE PEBBLE FINISH
PAINT (SW7002) DOWNY

MT-1
PRE-FINISHED
CANOPIES, DOWNSPOUTS, AND METAL COPING
DARK BRONZE

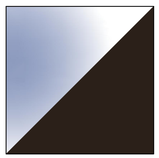


ST-2
STONE SILL
CORONADO STONE
900 SERIES
OFF WHITE



P-1
PAINT
SHERWIN WILLIAMS
SW7002
DOWNY

P-2
PAINT
SHERWIN WILLIAMS
SW7048
URBANE BRONZE



S-1
KAWNEER, "DARK BRONZE" ALUMINUM
STOREFRONT FRAME 1" INSULATED
CLEAR GLAZING

REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED	
A	CANOPIES, AWNINGS, OR PORTICO - CANOPIES
B	RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
C	ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS
D	VARIED ROOF HEIGHTS

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____, 2024.

WITNESS OUR HANDS, this ___ day of ____, 2024.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
June 27, 2024

PROJECT CONTACT LIST

ARCHITECT	CIVIL ENGINEER	DEVELOPER
THE DIMENSION GROUP	THE DIMENSION GROUP	PRUDENT DEVELOPMENT
10755 SANDHILL RD,	10755 SANDHILL RD,	10755 SANDHILL RD,
DALLAS, TX 75238	DALLAS, TX 75238	DALLAS, TX 75238
214.343.9400	214.343.9400	214.271.4630
ALEXANDRA MATIS	KEATON MAI	MICHAEL HAMPTON
AMATIS@ DIMENSIONGROUP.COM	KMAI@ DIMENSIONGROUP.COM	MHAMPTON@ PRUDENTDEVELOPMENT.COM

PROPOSED FACADE PLAN

CITY CASE #SP2024-025
4853 S. GOLIAD ST.
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
DATE PREPARED : 05.31.2024

HTeaO
BORN IN TEXAS 2009

THE DIMENSION GROUP
ARCHITECTURE · CIVIL ENGINEERING · MEP ENGINEERING
10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214-343-9400 www.dimensiongroup.com

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

06.27.2024

Tea O
ROCKWALL, TX
FM549 & SH205

No.	DATE	REVISION DESCRIPTION

PROJECT NO: 240-122
DRAWN:
DATE: 06.27.24
APPROVED:

FOR REVIEW ONLY

SHEET:

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 25, 2024
APPLICANT:	Keaton Mai; *The Dimension Group*
CASE NUMBER:	SP2024-025; *Site Plan for Restaurant, 2,000 SF or More, with Drive Through or Drive In*

SUMMARY

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a *Site Plan* for a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* (*i.e. HteaO*) on a 0.676-acre parcel of land identified as a portion of Lot 3, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the intersection of S. Goliad Street [*SH-205*] and FM-549, and take any action necessary.

BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37* [*Case No A1986-005*]. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [*Case No. Z2013-002; Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [*Case No. P2021-027*] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that established the subject property as a portion of Lot 3, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

PURPOSE

On May 17, 2024, the applicant -- *Keaton Mai of The Dimension Group* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [*SH-205*] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Phase I of the Somerset Park Subdivision, which consists of 152 single-family residential lots and is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.

South: Directly south of the subject property is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.251-acre tract of land [*i.e. a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition*]. Beyond this is a 1.50-acre parcel of land [*i.e. Lot 1, Block A, Creekside Commons Addition*], developed with a convenience store with gasoline sales (*i.e. 7-11*). Following this is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (*i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80*) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*10,000 SF*	*X=0.676-acres; In Conformance*
Minimum Lot Frontage	*60-Feet*	*X= 105.48-feet; In Conformance*
Minimum Lot Depth	*100-Feet*	*X=269.61-feet; In Conformance*
Minimum Front Yard Setback	*15-Feet*	*X>15-feet; In Conformance*
Minimum Rear Yard Setback	*10-Feet*	*X>10-feet; In Conformance*
Minimum Side Yard Setback	*10-Feet*	*X>10-feet; In Conformance*
Maximum Building Height	*60-Feet*	*X=19-feet; In Conformance*
Max Building/Lot Coverage	*60%*	*X=7.46%; In Conformance*
Minimum Number of Parking Spaces	*1 Parking Space/250 SF* *9 Required Parking Spaces*	*X=20; In Conformance*
Minimum Landscaping Percentage	*20%*	*X=25.7%; In Conformance*
Maximum Impervious Coverage	*85-90%*	*X=74%; In Conformance*

TREESCAPE PLAN

There are no trees being removed from the property, therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises."

In this case, the applicant's proposed use falls under this classification, which is permitted by-right within a Commercial (C) District. When reviewing the proposed site plan against these standards and the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) *Architectural Standards*.

(a) *Primary and Secondary Articulation.* According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building does not meet the commercial building articulation standards on the northwest elevation. However, the ARB has requested that the applicant bring the side walls back on all projecting tower elements, which the applicant has done on three (3) of the four (4) building facades. This will require a *Variance* from the Planning and Zoning Commission.

(b) *Roof Design Standards*. According to Subsection 06.02 (C)(3), *Roof Design Standards,* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case, the applicant is requesting that this requirement be waived in order to meet their brand standards and match the surrounding buildings. Staff should note that this variance has been granted before for the adjacent restaurant *(i.e. McDonald's)*. This will require a *Variance* from the Planning and Zoning Commission.

(c) *90% Masonry Requirement.* According to Subsection 06.02(C)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "…each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials…" In this case, the applicant does not meet this requirement on any of the of the building facades. Specifically, they are proposing more than ten (10) percent composite lumber material on each elevation to match the HTeaO brand. This will require a *Variance* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "…an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide two (2) compensatory measures that directly offset each requested variance and/or exception, and based on the submitted materials, the applicant's request would require six (6) compensatory measures. The applicant has indicated the following compensatory measures: [*1*] increased landscape buffer along SH205 (*from 20-feet to 40-feet*), [*2*] increased overall open space (*more than 25% provided vs. 20% required*), [*3*] adding parking lot landscaping (*almost 4 times the minimum of five [5] percent*), [*4*] effective and enhanced landscape screening adjacent to the drive-thru lane, [*5*] removed the exterior roof ladder and parapet opening, and [*6*] increased natural stone material beyond 20% (*overall total of 35%*) on the site. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *South Central Residential District* and is designated for *Commercial* land uses. According to the *District Strategies* this land use designation should "… support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "… encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- *or 'articulated' in architectural terms* --, and architectural

elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, it is a discretionary decision if the applicant's request conforms with the goals for non-residential buildings contained in the Comprehensive Plan because of the amount of requested variances associated with materials and articulation.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On May 28, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB requested to see revised building elevations that incorporated more of the articulation requirements. The ARB will review the updated building elevations and provide a recommendation before action is taken by the Planning and Zoning Commission at the *June 25, 2024* meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

(2) The subject property will be required to replat after the engineering process to establish property lines and new easements necessary for development.

(3) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	NWC of Hwy 205 and Future FM 549				
SUBDIVISION	Creekside Commons	LOT	15	BLOCK	A
GENERAL LOCATION	NWC of Hwy 205 and Future FM 549				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial (C)		CURRENT USE	Undeveloped	
PROPOSED ZONING	Commercial (C)		PROPOSED USE	Restaurant w/ drive-through	
ACREAGE	0.676	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Creekside Commons Crossing LP	☒ APPLICANT	The Dimension Group
CONTACT PERSON	Michael Hampton	CONTACT PERSON	Keaton Mai
ADDRESS	10755 Sandhill Rd	ADDRESS	10755 Sandhill Rd
CITY, STATE & ZIP	Dallas, TX 75238	CITY, STATE & ZIP	Dallas, TX 75238
PHONE	214-271-4630	PHONE	214-600-1152
E-MAIL	mhampton@prudentdevelopment.com	E-MAIL	kmai@dimensiongroup.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 270.00 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 16th *DAY OF* May, 2024. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th *DAY OF* May, 2024

OWNER'S SIGNATURE

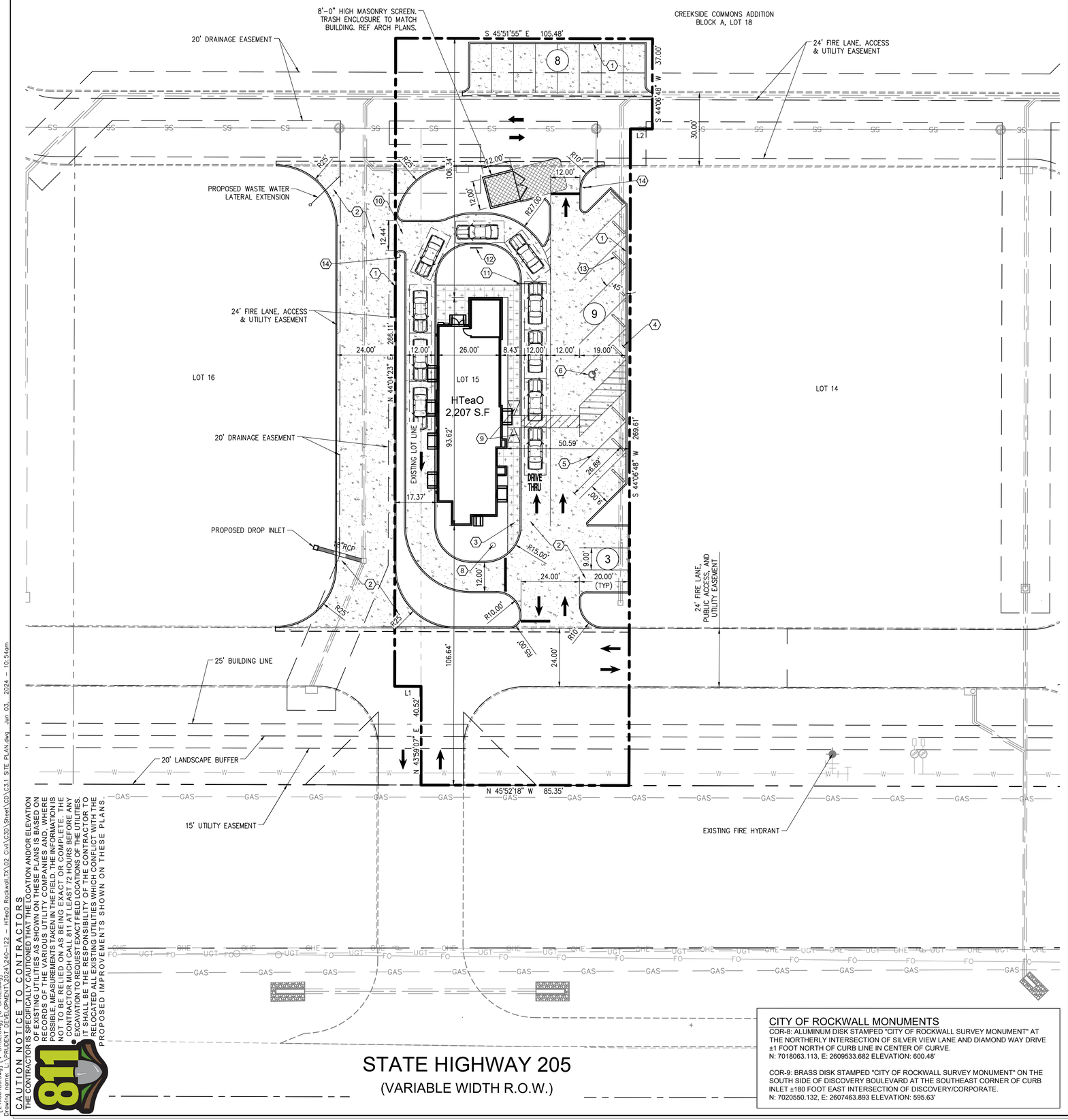
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kathy Bowen

KATHY BOWEN
My Notary ID # 10331063
Expires October 23, 2027

MY COMMISSION EXPIRES 10/23/24

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com



SITE PLAN KEYNOTES:

1. CONSTRUCT 6" CURB & GUTTER
2. CONSTRUCT 6" CONCRETE PAVEMENT SECTION
3. INSTALL SIDEWALK PAVEMENT
4. INSTALL HANDICAP VAN AND CAR SIGN
5. 4" WHITE PAVEMENT SOLID PARKING STRIPES
6. HANDICAP VAN PARKING
7. STANDARD AREA LIGHT POLE
8. PROPOSED FLAG POLE
9. NEW BARRIER FREE RAMPS
10. PROPOSED ESCAPE PLAN
11. CLEARANCE BAR
12. MENU BOARD
13. WHEEL STOP
14. "ONE WAY DO NOT ENTER" SIGN

GRAPHIC SCALE
20 0 10 20
1 INCH = 20 FEET

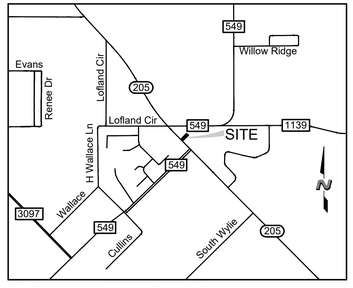
GENERAL NOTES

1. The contractor shall assume sole and complete responsibility for his means and methods of construction, job site conditions and job site safety, including safety of all persons and property. This requirement shall apply continuously and not be limited to working hours. The contractor shall save, protect, indemnify defend and hold harmless the owner, the architect and the engineer from any claim of liability, real or alleged, arising out of the performance of any work on this project. The contractor shall name the owner, the architect and the engineer as "additional insured" on his insurance policies.
2. Existing above ground utilities have been shown based on information shown on a survey of the property. Underground utilities are shown based on recorded data and may not be complete or exact. The contractor shall be responsible for verifying the locations and depths of all above ground and underground utilities prior to construction. The contractor shall be responsible for damage to existing above ground or underground utilities, including those not shown on the plans. The contractor is advised to contact the city and all franchise utility companies, easement holders, etc. at least 48 hours prior to beginning excavation in the vicinity of any underground utility.
3. The contractor shall comply with all building codes and regulations, federal, state, county, and city safety codes and inspection requirements.
4. The contractor shall provide dust protection during construction. All trash and debris shall be picked up at all times. Commercial construction debris/solid waste hauler permit required.
5. There will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)
6. Per the Engineering Standards of Design and Construction, dumpster areas will need to drain to oil/water separator and then to storm lines.

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

PAVING LEGEND

	PARKING AREA	6" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)
	DUMPSTER PAD	7" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)
	SIDEWALK	4" THICK 3000 P.S.I. #3 REBAR AT 24" O.C.E.W. (5.5 SACK MIX)



VICINITY MAP
N.T.S.

SITE PLAN

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
JUNE 03, 2024

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____, 2024.

WITNESS OUR HANDS, this ___ day of ____, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LINE TABLE		
LINE NO.	LENGTH	BEARING
L1	10.84'	N45°55'37"W
L2	9.00'	N45°51'55"W

CITY OF ROCKWALL MONUMENTS

COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.
N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.
N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

STATE HIGHWAY 205
(VARIABLE WIDTH R.O.W.)

CAUTION NOTICE TO CONTRACTORS
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR MUCH CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

ENGINEER/APPLICANT
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TX, 75238
PHONE: (214) 343-9400
CONTACT: KEATON L. MAI, PE

OWNER/DEVELOPER
PRUDENT DEVELOPMENT
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
PHONE: (214) 271-4630
CONTACT: MICHAEL HAMPTON

THE DIMENSION GROUP
ARCHITECTURE · CIVIL ENGINEERING · MEP ENGINEERING
10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214.343.9400 www.dimensiongroup.com

TBPE FIRM REGISTRATION
#F-8396

STATE OF TEXAS
KEATON L. MAI
125077
LICENSED PROFESSIONAL ENGINEER

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF KEATON L. MAI, P.E. 125077 ON 6/3/2024 IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

#	DATE	REVISION DESCRIPTION	BY

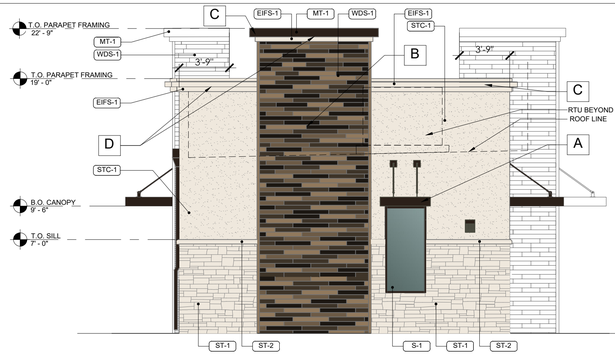
drawn by
designed by
approved by

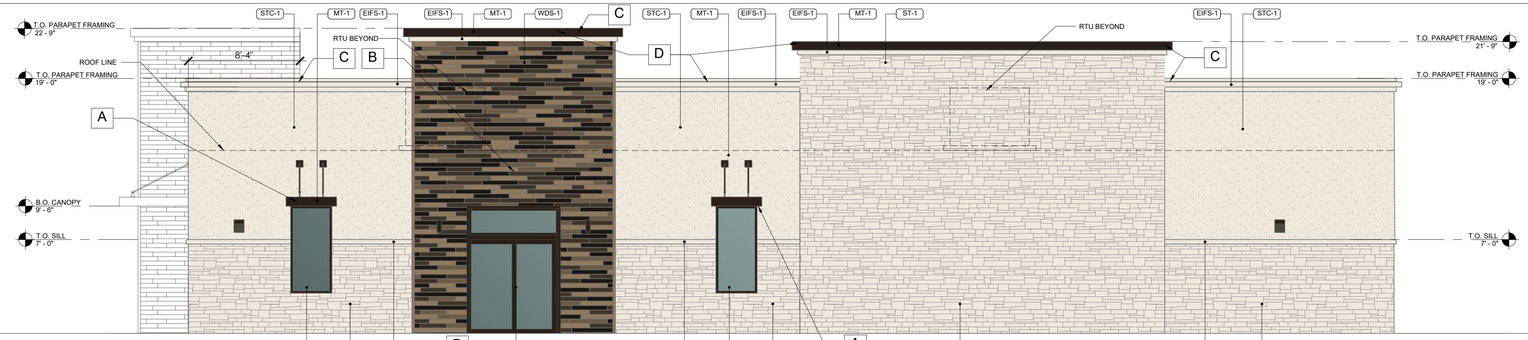
project no. 240-122
date 6/03/2024 – 10:54 am
dwg. C3.1 SITE PLAN.dwg

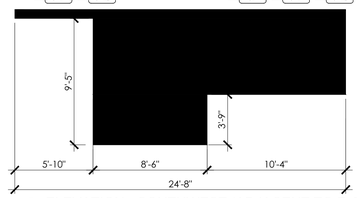
SITE PLAN

HTeaO- CREEKSIDE COMMONS
BLOCK A, LOT 15
ROCKWALL, TEXAS

SHEET
C3.1



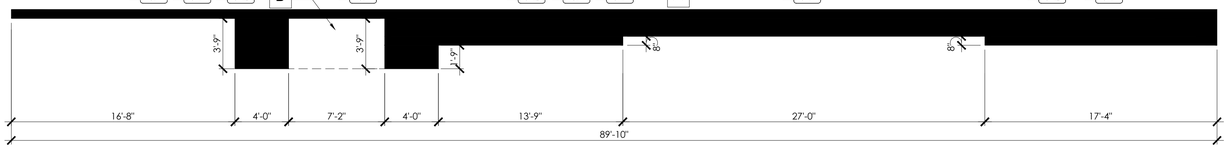




1 ELEVATION - SOUTHWEST (ADJACENT TO R.O.W.)
3/16" = 1'-0"

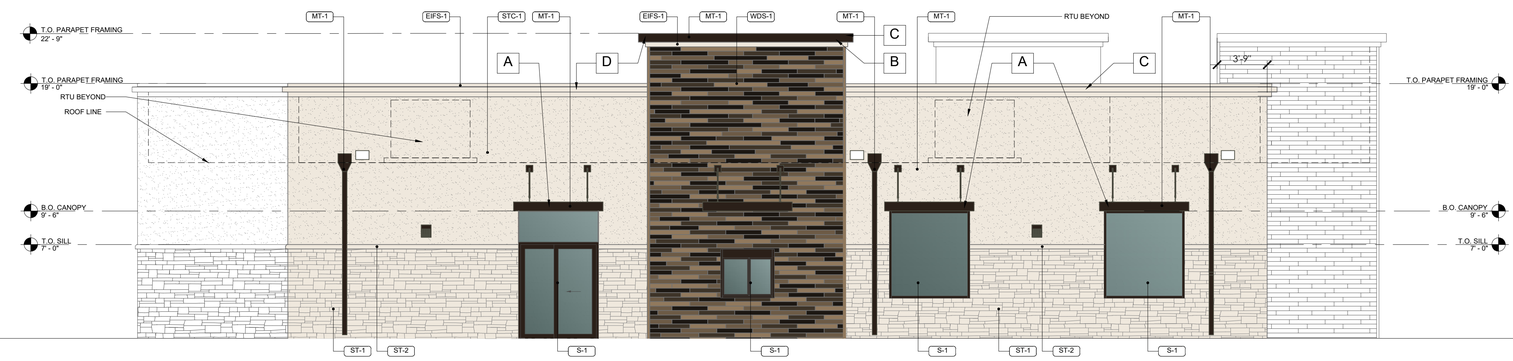
Southwest Elevation Materials	SF	Percent
ST-1	95 sf	20.0%
ST-2	5 sf	1.0%
WDS-1	184 sf	38.0%
STC-1	167 sf	35.0%
EIFS-1	20 sf	4.0%
MT-1	9 sf	2.0%
Total	480 sf	100%

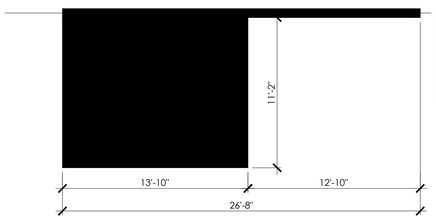
ALL PARAPETS SHALL BE EXTENDED BACK AND FINISHED ON BACK SIDE SAME AS FRONT



2 ELEVATION - SOUTHEAST
3/16" = 1'-0"

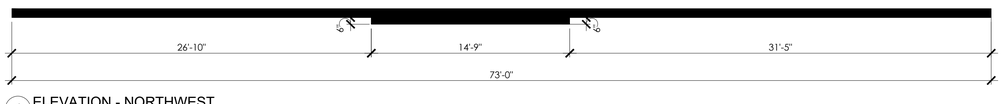
Southeast Elevation Materials	SF	Percent
ST-1	858 sf	50.0%
ST-2	14 sf	1.0%
WDS-1	263 sf	15.0%
STC-1	503 sf	29.0%
EIFS-1	45 sf	3.0%
MT-1	33 sf	2.0%
Total	1,716 sf	100%





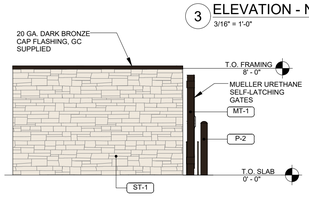
3 ELEVATION - NORTHEAST
3/16" = 1'-0"

Northeast Elevation Materials	SF	Percent
ST-1	128 sf	27.0%
ST-2	7 sf	1.0%
WDS-1	92 sf	20.0%
STC-1	211 sf	45.0%
EIFS-1	27 sf	6.0%
MT-1	4 sf	1.0%
Total	469 sf	100%

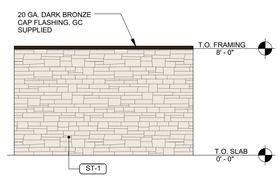


4 ELEVATION - NORTHWEST
3/16" = 1'-0"

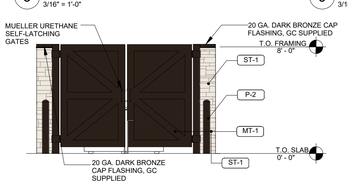
Northwest Elevation Materials	SF	Percent
ST-1	303 sf	23.5%
ST-2	13 sf	1.0%
WDS-1	303 sf	23.5%
STC-1	573 sf	44.0%
EIFS-1	63 sf	5.0%
MT-1	40 sf	3.0%
Total	1,295 sf	100%



5 DUMPSTER ENCL. ELEVATION - SIDE
3/16" = 1'-0"



6 DUMPSTER ENCL. ELEVATION - REAR
3/16" = 1'-0"



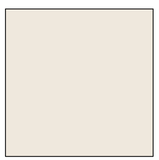
7 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"

MATERIAL SCHEDULE

WDS-1
COMPOSITE WOOD
NEWTECH WOOD
AN EQUAL MIX OF THE FOLLOWING:
BRAZILIAN IPE
HAWAIIAN CHARCOAL
PERUVIAN TEAK
SPANISH WALNUT

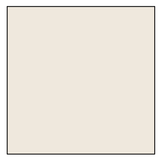
ST-1
NATURAL STONE
AUSTIN LIMESTONE
THIN VENEER
WHITE ON WHITE

STC-1
THREE STEP STUCCO
FINE PEBBLE FINISH
PAINT (SW7002) DOWNY

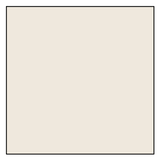


EIFS-1
DRYVIT
FINE PEBBLE FINISH
PAINT (SW7002) DOWNY

MT-1
PRE-FINISHED
CANOPIES, DOWNSPOUTS, AND
METAL COPING
DARK BRONZE

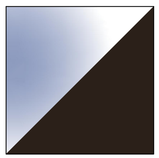


ST-2
STONE SILL
CORONADO STONE
900 SERIES
OFF WHITE



P-1
PAINT
SHERWIN WILLIAMS
SW7002
DOWNY

P-2
PAINT
SHERWIN WILLIAMS
SW7048
URBANE BRONZE



S-1
KAWNEER, "DARK BRONZE" ALUMINUM
STOREFRONT FRAME 1" INSULATED
CLEAR GLAZING

REQUIRED ARCHITECTURAL ELEMENTS - ACHIEVED	
A	CANOPIES, AWNINGS, OR PORTICO - CANOPIES
B	RECESSES/PROJECTIONS - TOWER ELEMENTS, OVERHANG SOFFIT ABOVE MAIN STOREFRONT
C	ARCHITECTURAL DETAILS - DIFFERENT CORNICE TREATMENTS
D	VARIED ROOF HEIGHTS

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____, 2024.

WITNESS OUR HANDS, this ___ day of ____, 2024.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

SITE PLAN

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE
WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
May 31, 2024

PROJECT CONTACT LIST

ARCHITECT	CIVIL ENGINEER	DEVELOPER
THE DIMENSION GROUP	THE DIMENSION GROUP	PRUDENT DEVELOPMENT
10755 SANDHILL RD,	10755 SANDHILL RD,	10755 SANDHILL RD,
DALLAS, TX 75238	DALLAS, TX 75238	DALLAS, TX 75238
214.343.9400	214.343.9400	214.271.4630
ALEXANDRA MATIS	KEATON MAI	MICHAEL HAMPTON
AMATIS@ DIMENSIONGROUP.COM	KMAI@ DIMENSIONGROUP.COM	MHAMPTON@ PRUDENTDEVELOPMENT.COM

PROPOSED FACADE PLAN

CITY CASE #SP2024-025
4853 S. GOLIAD ST.
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
DATE PREPARED : 05.31.2024

HTeaO
BORN IN TEXAS 2009

THE DIMENSION GROUP
ARCHITECTURE · CIVIL ENGINEERING · MEP ENGINEERING
10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214-343-9400 www.dimensiongroup.com

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

06.04.2024

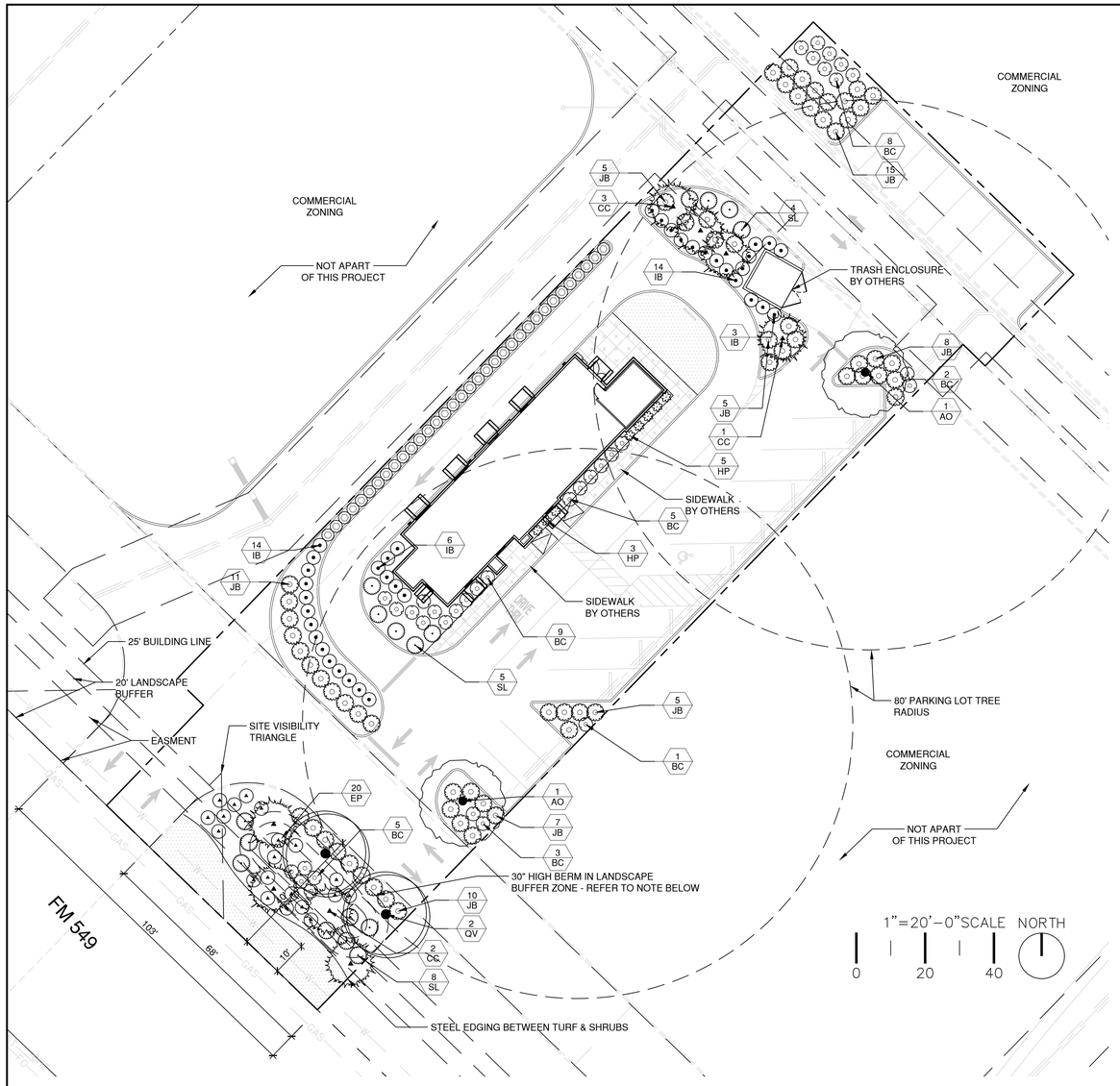
H TeaO
ROCKWALL, TX
FM549 & SH205

No.	DATE	REVISION DESCRIPTION

PROJECT NO: 240-122
DRAWN:
DATE: 05.31.24
APPROVED:

FOR REVIEW ONLY

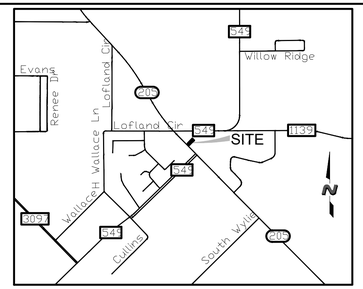
SHEET:



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CAL	HEIGHT	QTY
TREES						
	AO	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE WRAP TRUNK FROM THE GROUND UP TO THE BOTTOM OF CANOPY FOR THE FIRST 24 MONTHS TO PREVENT SUN SCALD BARK DAMAGE	CONT.	4"	14-16`	2
	CC	CERCIS CANADENSIS EASTERN REDBUD	CONT.	2" CAL	6`-8`	8
	QV	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	CONT.	4"	14-16`	2

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (W`XH`)	ADDITIONAL	SPACING	QTY
SHRUBS							
	BC	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY JAPANESE BARBERRY	5 GAL			48" o.c.	35
	EP	EUONYMUS FORTUNEI 'MONCE' GOLDEN PRINCE® WINTERCREEPER	5 GAL			48" o.c.	20
	HP	HESPERALOE PARVIFLORA RED YUCCA	5 GAL			36" o.c.	8
	IB	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL			48" o.c.	37
	ID	ILEX VOMITORIA 'SCHILLINGS DWARF' SCHILLINGS DWARF YAUPON HOLLY	5 GAL			42" o.c.	34
	JB	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC SHORE JUNIPER	5 GAL			60" o.c.	65
	SL	STEMODIA LANATA GRAY WOOLLY TWINTIP	1 GAL			60" o.c.	17
GROUND COVERS							
	CE	CYNODON DACTYLON X TRANSVAALENSIS `DT-1` TIFTUF™ BERMUDAGRASS	SOD				526 SF



VICINITY MAP
N.T.S.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
FM HWY 549 - ±103' OF STREET FRONTAGE:	2 CANOPY TREES, 4 ACCENT TREES
05.02 LANDSCAPE SCREENING	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	BERM WITH EVERGREEN PLANTING PROVIDED
05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT	
TOTAL SITE AREA:	29,441 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	5,888.2 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	7,573 SF (25.7%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
PROPOSED PARKING AREA:	±6,870 SF
REQ. PARKING LOT LANDSCAPING:	343.5 SF
PROPOSED PARKING LOT LANDSCAPING;	1,454 SF (21.2%)
	REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
ARTICLE 09: TREE PRESERVATION	
05: TREE MITIGATION REQUIREMENTS	
MITIGATION REQUIRED:	NONE REQUIRED
MITIGATION PROVIDED:	NONE REQUIRED
06.01: REPLACEMENT TREES	
ALL REPLACEMENT TREES SHALL BE A MIN. 4" CALIPER	NONE REQUIRED

PROJECT DATA TABLE

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, RECYCLED, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

BERM IN BUFFER ZONE

30" HIGH BERM IN LANDSCAPE BUFFER ZONE - GRADED W/ 3:1 SLOPES, USE CLEAN FILL AS BASE, ADD 8"-10" OF GARDEN SOIL TO TOP OF BERM AND BLEND INTO THE TOP 4"-6" OF FILL TO AVOID CREATING A HARDPAN LAYER. GARDEN SOIL SHALL BE A MIX OF CLEAN TOPSOIL, MANURE COMPOST, SAND, AND AGED SAW DUST. TOP WITH 3" LAYER SHREDDED WOOD MULCH.

BERM SHALL BE INSTALLED OUTSIDE OF THE EASEMENT. NO FILL SHALL OCCUR IN THE UTILITY EASEMENT.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. IRRIGATION SHALL MEET REQUIREMENTS OF THE UDC.

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

CAUTION NOTICE TO CONTRACTORS
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

PLANTING PLAN

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
May 31, 2024

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2024.

WITNESS OUR HANDS, this ___ day of _____, 2024.

_____ Planning & Zoning Commission, Chairman

_____ Director of Planning and Zoning

ENGINEER/APPLICANT
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TX, 75238
PHONE: (214) 343-9400
CONTACT: KEATON L. MAI, PE

OWNER/DEVELOPER
PRUDENT DEVELOPMENT
10755 SANDHILL ROAD
DALLAS, TEXAS 75238
PHONE: (214) 271-4630
CONTACT: MICHAEL HAMPTON

THE DIMENSION GROUP
ARCHITECTURE · CIVIL ENGINEERING · MEP ENGINEERING
10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214.343.9400 · www.thedimensiongroup.com

REGISTERED LANDSCAPE ARCHITECT
KEATON L. MAI
6671
STATE OF TEXAS
6.3.2024

#	DATE	REVISION DESCRIPTION	BY

drawn by
designed by
approved by
project no. 240-122
date
dwg

PLANTING PLAN
HTeaO- CREEKSIDE COMMONS
BLOCK A, LOT 15
ROCKWALL, TEXAS

SHEET
LP-1
CASE #: SP2024-025

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.

B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.

C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.

E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.

F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

G. PLANTING MIX FOR POTS: AN EQUAL PART MIXTURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMEREQ, INC., (800) 832-8788, AT THE RATE OF 3 LB. PER CUBIC YARD OF PLANTING MIX.

H. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).

I. PALM MAINTENANCE SPIKES: AS MANUFACTURED BY THE LUTZ CORP, (800) 203-7740, OR APPROVED EQUAL.

J. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.

K. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

L. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.

M. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
2. SOIL TESTING:
   a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
   b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ABSORPTION RATIO (SAR) AND BORON CONTENT.
   c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
   d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
4. <u>FOR BIDDING PURPOSES ONLY</u>, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
   a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
   i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
   ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
   iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
   b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
   i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
   ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
   iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
   iv. IRON SULPHATE - 2 LBS. PER CU. YD.
5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**<u>BASED ON A SOIL TEST</u>**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCHING NEAR EXISTING TREES:
   a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
   b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
   c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
   d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

D. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
   a. 1"-2" TREES — TWO STAKES PER TREE
   b. 2-1/2"-4" TREES — THREE STAKES PER TREE
   c. TREES OVER 4" CALIPER — GUY AS NEEDED
   d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
   e. #15 CONT. - 24" BOX TREES — TWO STAKES PER TREE
   f. 36"-48" BOX TREES — THREE STAKES PER TREE
   g. OVER 48" BOX TREES — GUY AS NEEDED
   h. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

F. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

G. HYDROMULCHING
1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
   a. WINTER MIX (OCTOBER 1 - MARCH 31)
      50# CELLULOSE FIBER MULCH
      2# UNHULLED BERMUDA SEED
      2# ANNUAL RYE SEED
      15# 15-15-15 WATER SOLUBLE FERTILIZER
   b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
      50# CELLULOSE FIBER MULCH
      2# HULLED BERMUDA SEED
      15# 15-15-15 WATER SOLUBLE FERTILIZER
2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
   a. GENERAL
      50# CELLULOSE FIBER MULCH
      15# 15-15-15 WATER SOLUBLE FERTILIZER
      SEED RATE PER LEGEND

H. DRILL SEEDING
1. ALL SEED SHALL BE DRILL SEEDED AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX APPLIED AFTER SEEDING.
2. THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
      50# CELLULOSE FIBER MULCH
      15# 15-15-15 WATER SOLUBLE FERTILIZER
      4# ORGANIC BINDER

I. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

J. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

K. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

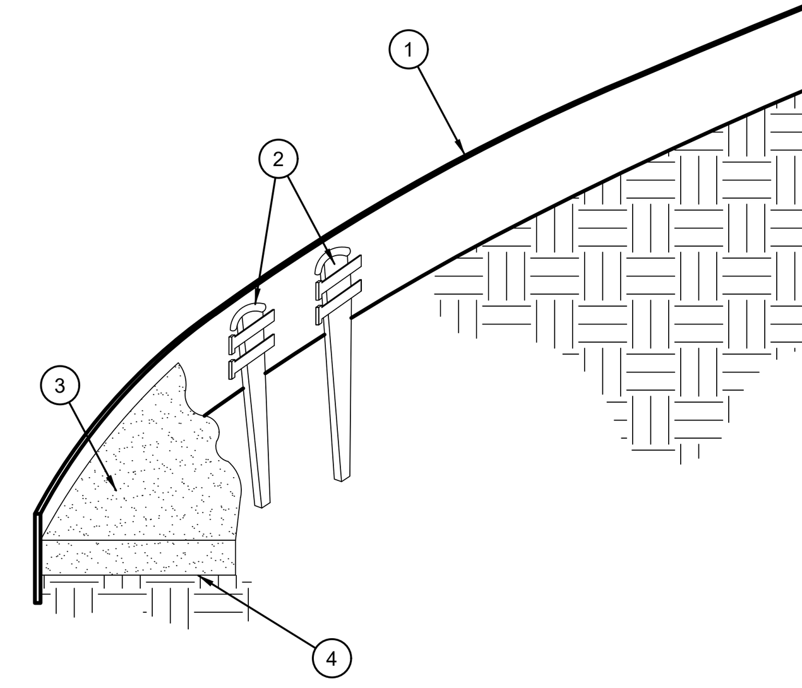
L. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
   a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
   b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
   c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

M. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

N. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

CAUTION NOTICE TO CONTRACTORS

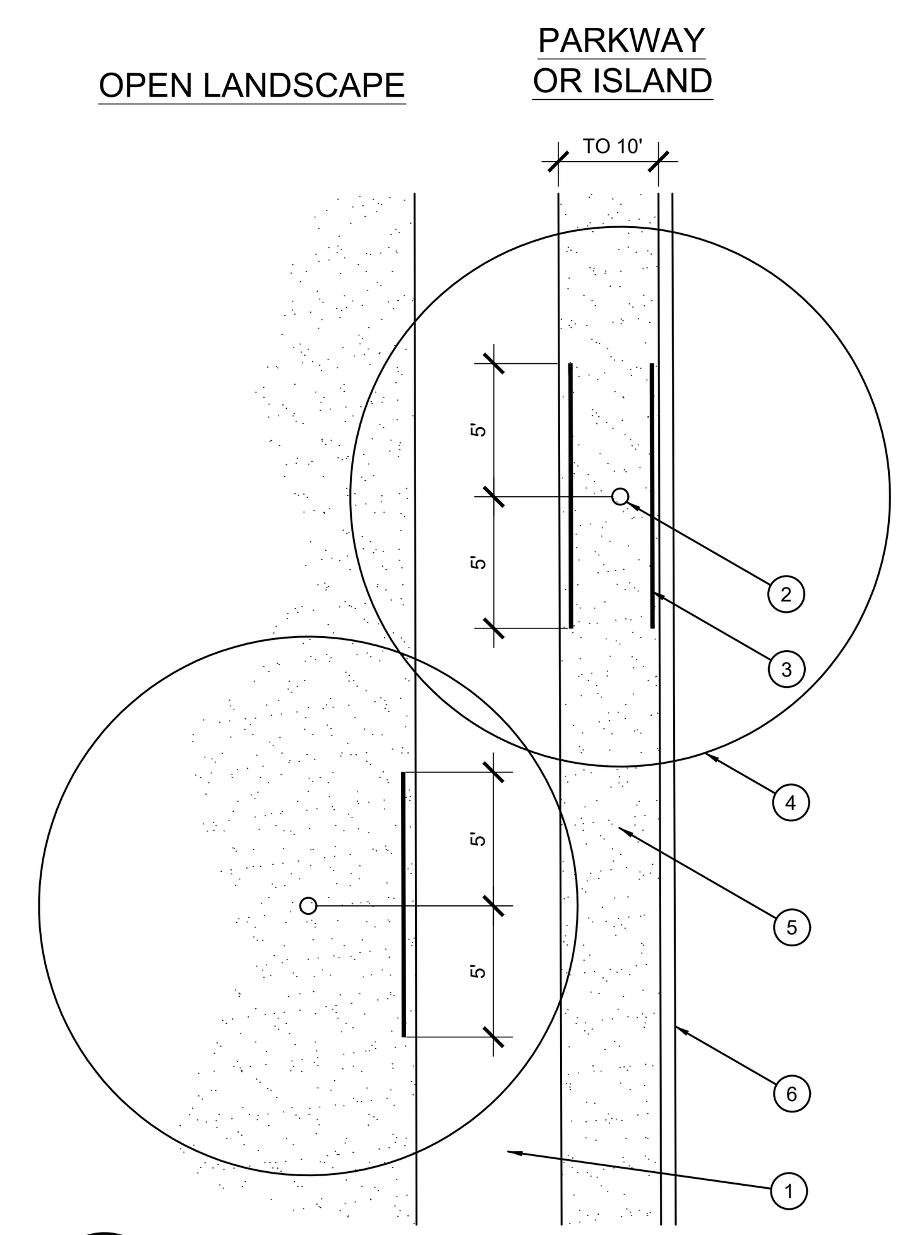
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUCH CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

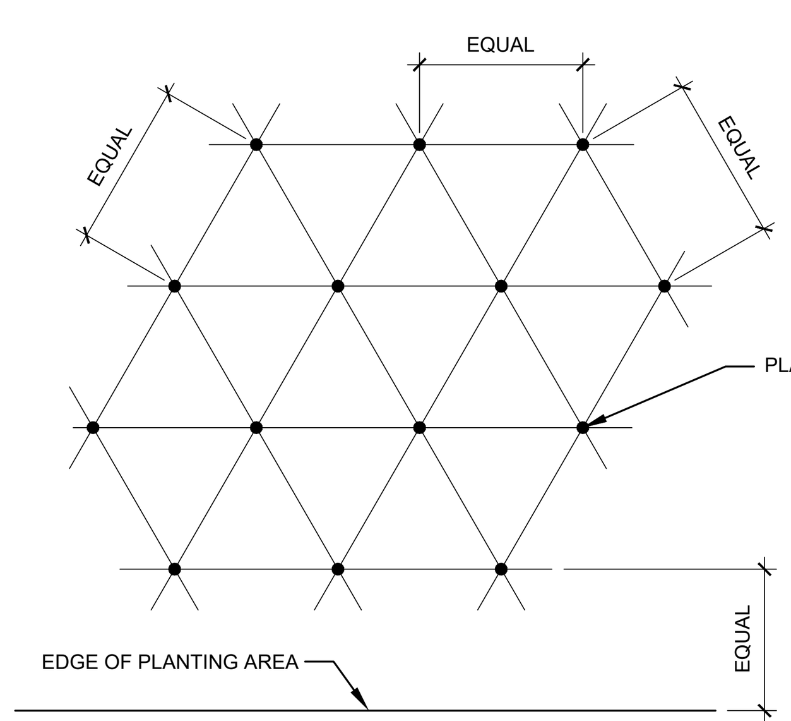
D STEEL EDGING
SCALE: NOT TO SCALE



1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

E ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

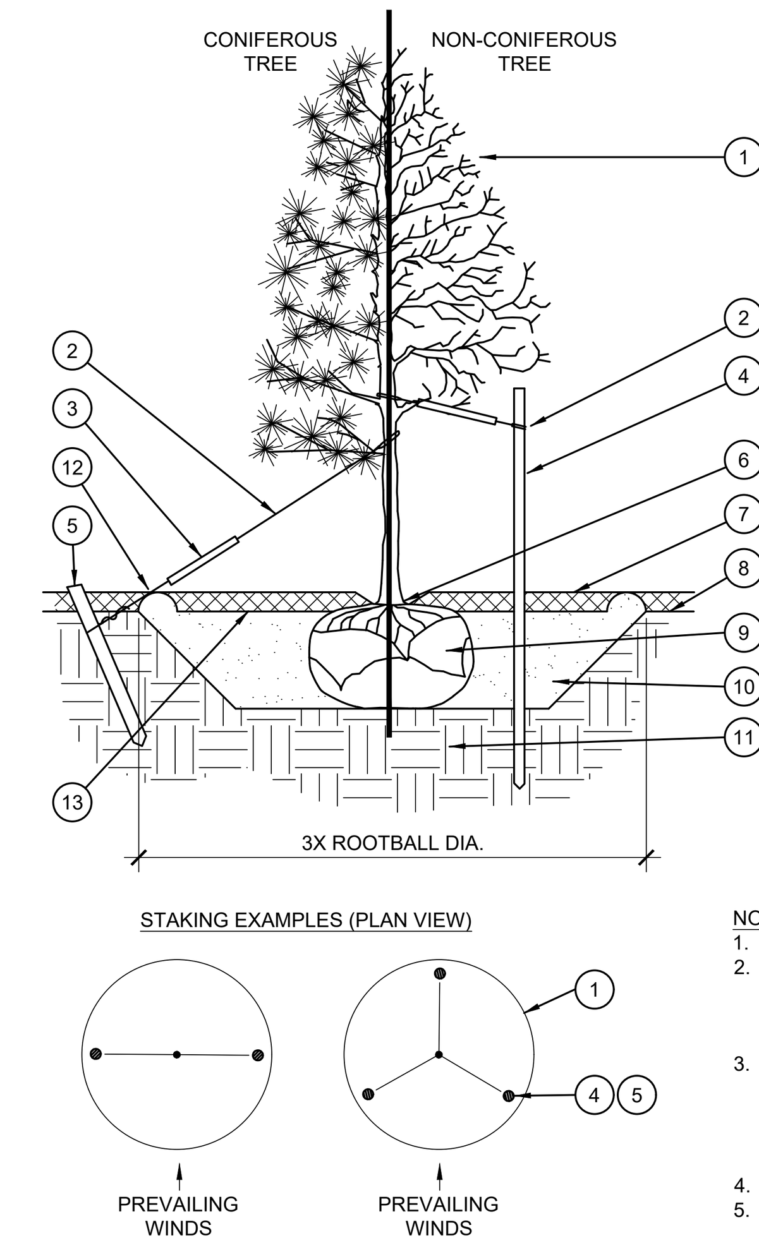
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

<u>EXAMPLE:</u> PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF/1.95 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

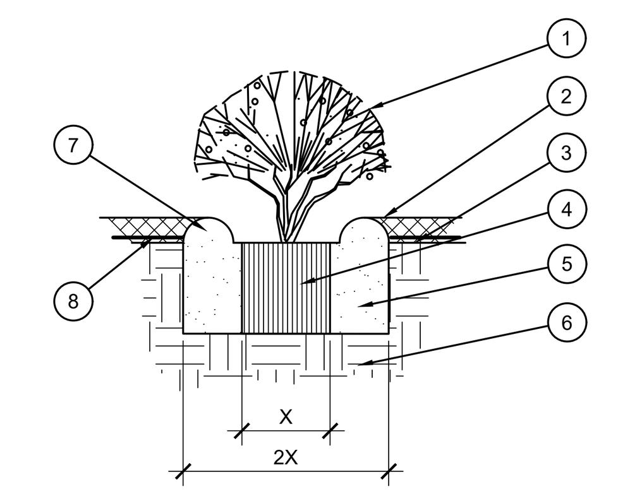
F PLANT SPACING
SCALE: NTS



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

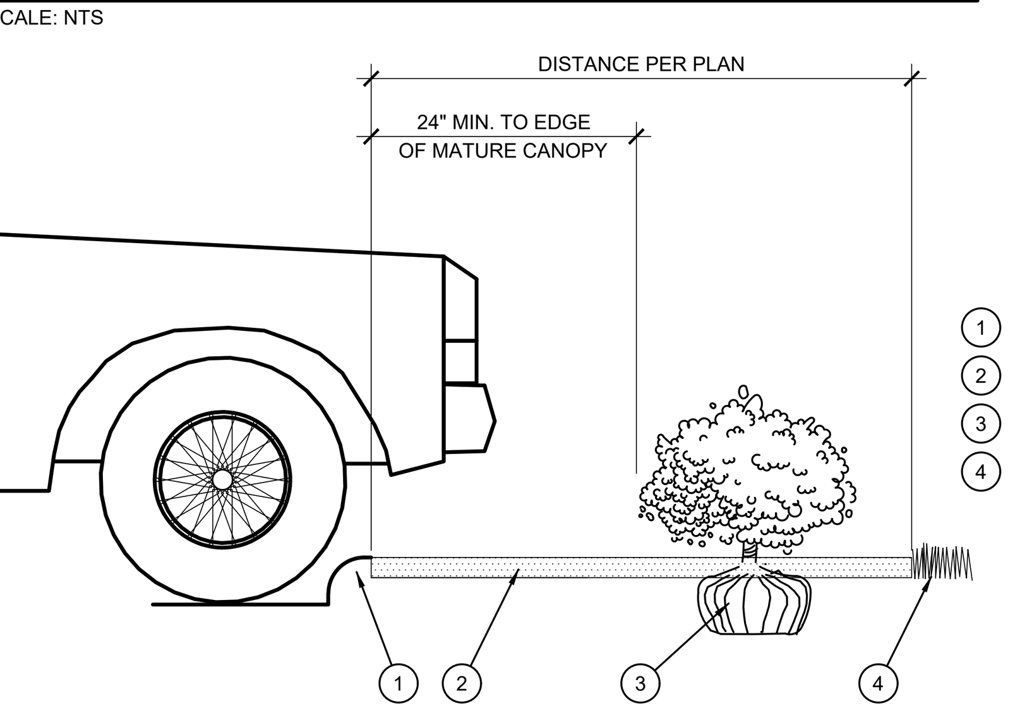
NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

C PLANTING AT PARKING AREA
SCALE: NOT TO SCALE

PLANTING SPECS & DETAILS

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
May 31, 2024

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2024.

WITNESS OUR HANDS, this ___ day of _____, 2024.

_______________________________ Planning & Zoning Commission, Chairman

_______________________________ Director of Planning and Zoning

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REGISTERED LANDSCAPE ARCHITECT — BLAKE TOMILLOSO-RHINEHART — 3671 — STATE OF TEXAS
6.3.2024

#	DATE	REVISION DESCRIPTION	BY
△			
△			
△			
△			

project no. 240–122
date
dwg.
drawn by
designed by
approved by

PLANTING SPECS & DETAILS

HTeaO- CREEKSIDE COMMONS
BLOCK A, LOT 15
ROCKWALL, TEXAS

SHEET
LP-2

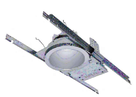
CASE #: SP2024-025

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
	W	5	ENVISION LED LIGHTING	LED-WPFC-ADJ-30W-TRI-BL	FULL CUT OFF WALL PACKS ADJUSTABLE: AFC-LINE ADJUSTABLE LENS SELECTABLE CCT.	LED	1	4000	0.81	30.9	8'-0"
	S	2	PROGRESS LIGHTING	P5642-31/30K Black, Powder coat finish	6" uplight/downlight wall cylinder sconce	LED	1	2150	0.81	29	8'-0"
	D	8	COOPER LIGHTING SOLUTIONS - HALO COMMERCIAL (FORMERLY EATON)	HC6-20-D010-HM60525840-61MDC	HALO COMMERCIAL 6" ROUND, NEW CONSTRUCTION FRAME, WITH 6" MEDIUM DISTRIBUTION, SPECULAR TRIM	(1) HIGH LUMEN LED 80CRI / 4000K CCT	1	2378	0.81	20	9'-6"
	SA.BC	1	BEACON	VP-1-160L-100-5K7-2-BC	Size 1 Viper w/ 80L Type II Polished Acrylic Optics and Backlight Control	5000K-70-CRI	1	8216	0.81	97.15	Base: 3' Pole: 15' Total: 18'
	SB.BC	3	BEACON	VP-1-160L-100-5K7-3-BC	Size 1 Viper w/ 80L Type III Polished Acrylic Optics and Backlight Control	5000K-70-CRI	1	9279	0.81	97.15	Base: 3' Pole: 15' Total: 18'
	SC.SL	1	BEACON	VP-1-160L-100-5K7-4F-HSS-90-SL	Size 1 Viper w/ 80L Type IV-F Polished Acrylic Optics and 90° Shield Blocking Left Side of Distribution (when viewed from behind the pole)	5000K-70-CRI	1	11403	0.81	92	Base: 3' Pole: 15' Total: 18'
	SA	1	BEACON	*VP-1-160L-35-5K7-3-HSS-360	*Small Viper w/ Type III Acrylic 80L Optics and 360° Shield Blocking	5000K-70-CRI	1	1556	0.81	35	Base: 3' Pole: 15' Total: 18'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Site	+	2.2 fc	32.1 fc	0.0 fc	N/A	N/A
Property Boundary	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A

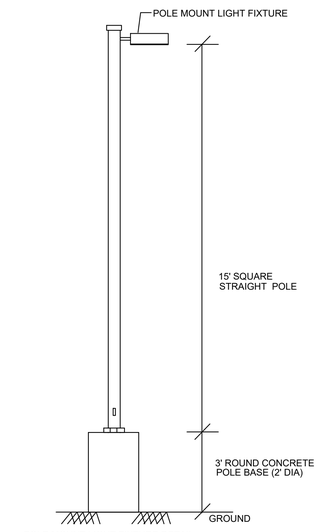
BEACON:
VIPER SIZE 1
TYPE: SA.BC, SB.BC, SC.BC & SA

ENVISIONLED:
WALL PACK AFC-LINE
TYPE: W



COOPER LIGHTING:
HC6
TYPE: D

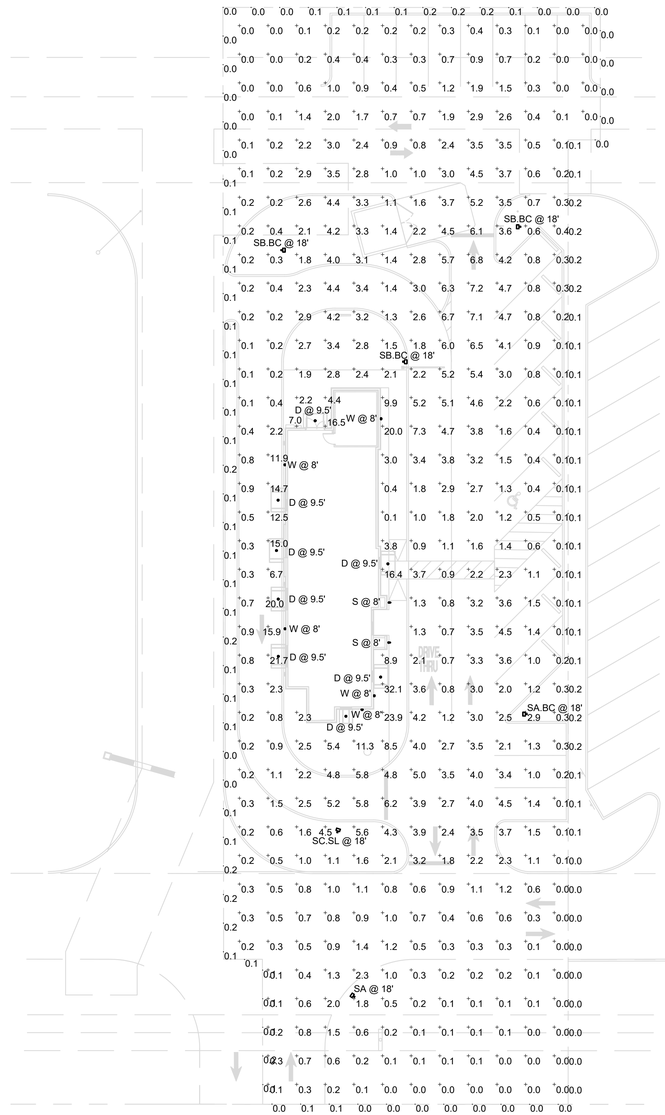
PROGRESS LIGHTING:
P5642
TYPE: S



POLE MOUNT LIGHT FIXTURE DETAIL

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



GRAPHIC SCALE
20 0 10 20
1 INCH = 20 FEET

PHOTOMETRIC PLAN

LOT 15, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 0.67 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2024-025
May 31, 2024

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	29,441.63 S.F. (0.676 ACRES)
BUILDING SQUARE FOOTAGE	2,207 S.F.
FAR	0.07:1
BUILDING HEIGHT	19'-0"
TOTAL PERVIOUS COVER	7,462 S.F. OR 25%
TOTAL IMPERVIOUS COVER	21,980 S.F. OR 75%
PARKING REQUIRED	9 SPACES (1/250 G.F.A.)
PARKING PROVIDED	20 SPACES
HANDICAP PARKING REQUIRED	1 SPACE
HANDICAP PARKING PROVIDED	1 SPACE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____, 2024.

WITNESS OUR HANDS, this ___ day of ____, 2024.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

THE DIMENSION GROUP
ARCHITECTURE · CIVIL ENGINEERING · MEP ENGINEERING
13755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214.343.4640 · www.dimensiongroup.com

PRELIMINARY DRAWINGS
DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

06/03/2024

#	DATE	REVISION DESCRIPTION	BY

drawn by AN
designed by AN
approved by AH

project no. 240-122
date 6/03/2024 - 12:43 pm
dwg. ES.01 Photometric.dwg

PHOTOMETRIC PLAN

HTeaO-CREEKSIDE COMMONS
BLOCK A, LOT 15
ROCKWALL, TEXAS

SHEET
ES.01

TYPE: W

Lumark

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #		**Type**	
Project			
Comments		**Date**	
Prepared by			

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

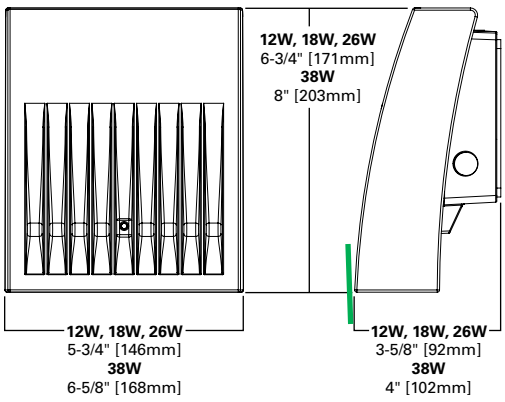
Finish
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

Warranty
Five-year warranty.

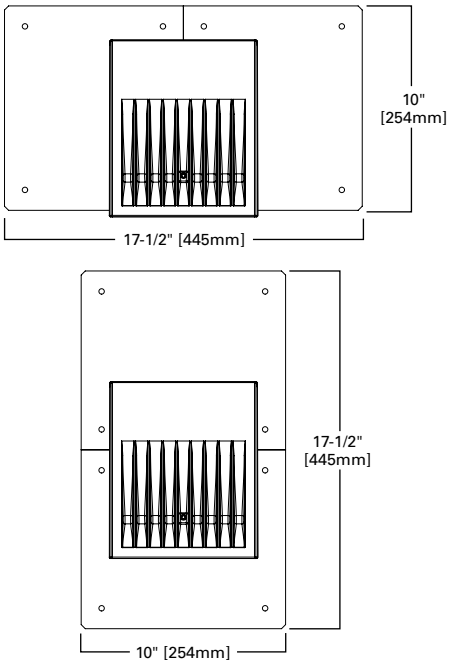
XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area (Sq. Ft.):
XTOR1B, XT0R2B, XT0R3B=0.34
XTOR4B=0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

COOPER Lighting Solutions

*www.designlights.org

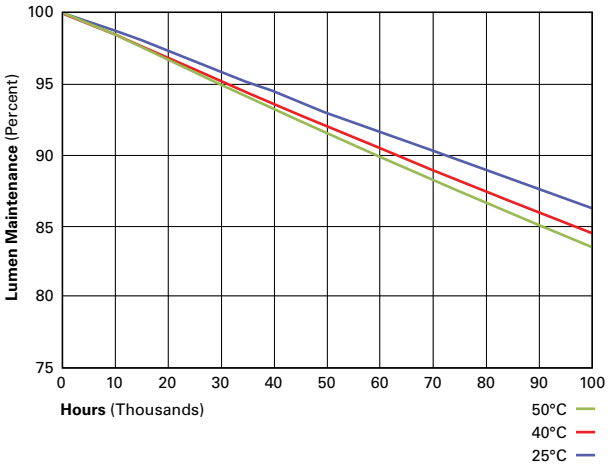
POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) [1]	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating [2]	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: 1 Includes shield and visor. **2** B.U.G. Rating does not apply to floodlighting.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Model		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



CURRENT DRAW

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series [1]	**LED Kelvin Color**	**Housing Color**	**Options** (Add as Suffix)	**Accessories** (Order Separately) [8]
XTOR1B=Small Door, 12W **XTOR2B**=Small Door, 18W **XTOR3B**=Small Door, 26W **XTOR4B**=Medium Door, 38W **BAA-XTOR1B**=Small Door, 12W, Buy American Act Compliant [7] **TAA-XTOR1B**=Small Door, 12W Trade Agreements Act Compliant [7] **BAA-XTOR2B** =Small Door, 18W, Buy American Act Compliant [7] **TAA-XTOR2B**=Small Door, 18W, Trade Agreements Act Compliant [7] **BAA-XTOR3B**=Small Door, 26W, Buy American Act Compliant [7] **TAA-XTOR3B**=Small Door, 26W, Trade Agreements Act Compliant [7] **BAA-XTOR4B**= Medium Door, 38W, Buy American Act Compliant [7] **TAA-XTOR4B**= Medium Door, 38W, Trade Agreements Act Compliant [7]	**[Blank]**=Bright White (Standard), 5000K **W**=Neutral White, 4000K **Y**=Warm White, 3000K	**[Blank]**=Carbon Bronze (Standard) **WT**=Summit White **BK**=Black **BZ**=Bronze **AP**=Grey **GM**=Graphite Metallic **DP**=Dark Platinum	**PC1**=Photocontrol 120V [2] **PC2**=Photocontrol 208-277V [2,3] **347V**=347V [4] **HA**=50°C High Ambient [4]	**WG/XTOR**=Wire Guard [5] **XTORFLD-KNC**=Knuckle Floodlight Kit [6] **XTORFLD-TRN**=Trunnion Floodlight Kit [6] **XTORFLD-KNC-WT**=Knuckle Floodlight Kit, Summit White [6] **XTORFLD-TRN-WT**=Trunnion Floodlight Kit, Summit White [6] **EWP/XTOR**=Escutcheon Wall Plate, Carbon Bronze **EWP/XTOR-WT**=Escutcheon Wall Plate, Summit White

NOTES:

1. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.

2. Photocontrols are factory installed.

3. Order PC2 for 347V models.

4. Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.

5. Wire guard for wall/surface mount. Not for use with floodlight kit accessory.

6. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

7. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

8. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

STOCK ORDERING INFORMATION

Domestic Preferences [1]	**12W Series**	**18W Series**	**26W Series**	**38W Series**
[Blank]=Standard	**XTOR1B**=12W, 5000K, Carbon Bronze	**XTOR2B**=18W, 5000K, Carbon Bronze	**XTOR3B**=26W, 5000K, Carbon Bronze	**XTOR4B**=38W, 5000K, Carbon Bronze
BAA=Buy American Act	**XTOR1B-WT**=12W, 5000K, Summit White	**XTOR2B-W**=18W, 4000K, Carbon Bronze	**XTOR3B-W**=26W, 4000K, Carbon Bronze	**XTOR4B-W**=38W, 4000K, Carbon Bronze
TAA=Trade Agreements Act	**XTOR1B-PC1**=12W, 5000K, 120V PC, Carbon Bronze	**XTOR2B-WT**=18W, 5000K, Summit White	**XTOR3B-WT**=26W, 5000K, Summit White	**XTOR4B-WT**=38W, 5000K, Summit White
	XTOR1B-W=12W, 4000K, Carbon Bronze	**XTOR2B-PC1**=18W, 5000K, 120V PC, Carbon Bronze	**XTOR3B-PC1**=26W, 5000K, 120V PC, Carbon Bronze	**XTOR4B-PC1**=38W, 5000K, 120V PC, Carbon Bronze
		XTOR2B-W-PC1=18W, 4000K, 120V PC, Carbon Bronze	**XTOR3B-W-PC1**=26W, 4000K, 120V PC,Carbon Bronze	**XTOR4B-W-PC1**=38W, 4000K, 120V PC, Carbon Bronze
		XTOR2B-347V=18W, 5000K, Carbon Bronze, 347V	**XTOR3B-347V**=26W, 5000K, Carbon Bronze, 347V	**XTOR4B-347V**=38W, 5000K, Carbon Bronze, 347V
		XTOR2B-WT-PC1=18W, 5000K, 120V PC,Summit White	**XTOR3B-PC2**=26W, 5000K, 208-277V PC, Carbon Bronze	

NOTES:

1. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

PROGRESS LIGHTING™

TYPE: S

Project:

Fixture Type:

Location:

Contact:

Cylinder

Wall Mounted • Damp Location Listed PROGRESS LED

P5642-31/30K

Description:

6" uplight/downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum Cylinders offers a contemporary design with its sleek cylindrical form and elegant fade and chip resistant Black finish, perfect for today's inspired exteriors. With over 2,150 lumens both up and down the LED Cylinders unite performance, energy savings and safety benefits. Provides even illumination up and down. Specify P860046 top cover lens for use in wet locations.

Specifications:

- Black finish.
- Powder coat finish.
- Die-cast aluminum construction with durable powder coated finish
- 2,150 lumens 30 lumens/watt per module (delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 10% with many ELV dimmers
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5 in W., 4.5 in ht., 2.94 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

Performance:

Number of Modules	2
Input Power	29 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Down-Source)	1262/44 (LM-82) per module
Lumens/LPW (Up-Source)	1300/44 (LM-82) per module
Lumens/LPW (Delivered)	2,150/30 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Damp Location Listed

Dimensions:

Width: 6 in
Height: 18 in
Depth: 8-7/8 in
H/CTR: 8 in

PROGRESS LIGHTING™

Cylinder

Wall Mounted • Damp Location Listed PROGRESS LED

P5642-31/30K

Dimming Notes:

P5642-31/30K is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls:

Lutron_Diva DVELV-300P
Lutron_Nova NTELV-300
Lutron_Vierti VTELV-600
Lutron_Maestro MAELV-600
Lutron_spacer/system SPSELV-600
Leviton_Renoir II AWRMG-EAW
Leviton_6615-P

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.
Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.
Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

TYPE: D

Project		**Catalog #**		**Type**	
Prepared by		**Notes**		**Date**	

HALO Commercial

HC6 | HM6 | 61 | 61PS

6-inch LED downlight and wall wash

Typical Applications

Office • Healthcare • Hospitality • Institutional • Mixed-Use/Retail

Interactive Menu

Product Certification

ENERGY STAR · Efficiency Standards T24 Can be used to comply with California Title 24 Non-Residential · wet location · Chicago Plenum Approved · FC · RoHS Compliant · UL Certified

Product Features

QS Quick Spec · Showerlight

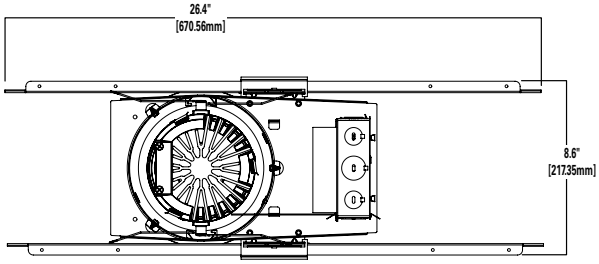
Control Compatibility

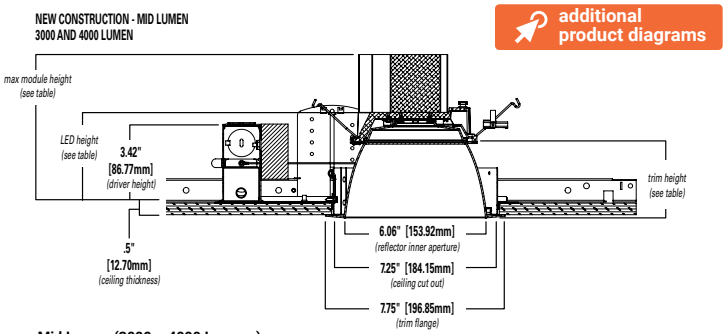
WaveLinx LITE · WaveLinx PRO

Top Product Features

- New construction/remodel series; 500 to 6,000 lumens
- Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
- 2700K, 3000K, 3500K, 4000K, 5000K CCT; 80 or 90 CRI
- Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
- Mounting frame converts to remodel that installs from below the ceiling
- Quick Spec emergency backup mounting frames - fast delivery option

Dimensional and Mounting Details





Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.6"	3.4"	3.8"
Medium	6.7"	3.5"	3.9"
Wide	6.5"	3.3"	3.7"
Baffle	6.5"	3.3"	3.7"

Mounting Frame Order Information

Sample Number: HC620D010REM7 – HM60525835 - 61MDC

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
HC6 = 6" new construction downlight housing **HC6CP** = 6" new construction housing, Chicago Plenum - CCEA compliant	**05** = 500 lm **07** = 750 lm **10** = 1000 lm **15** = 1500 lm **20** = 2000 lm **25** = 2500 lm **30** = 3000 lm **35** = 3500 lm **40** = 4000 lm **45** = 4500 lm (7) **50** = 5000 lm (7) **55** = 5500 lm (7) **60** = 6000 lm (7)	**D010**=UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls **Canada Option 500-5000 lumens: D010347** = 347VAC 50/60Hz 0-10V 1%-100% dimming. For 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000lm models only (1) **Canada Option 5500-6000 lumens: D010X347** = step down transformer factory installed (with standard "D010" 120V-277V LED driver). For 5500, 6000lm models only (1)	**REM7** = 7 watt emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) **REM14** = 14 watt emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) **IEM7** = 7 watt emergency battery pack with integral test / indicator light, use with D010 only (1) (2) (6) **IEM14** = 14 watt emergency battery pack with integral test / indicator light, use with D010 only (1) (2) (6) **BOD7ST** = 7.5 watt Bodine self-test emergency battery pack with remote test / indicator light, use with D010 only (1) (2) (6) **WTA** = Factory WaveLinx PRO Tilemount Sensor Kit (4) **WTK** = Factory WaveLinx LITE Tilemount Sensor Kit (5) **WPN** = WaveLinx PRO Wireless Node without Sensor (9) **WLN** = WaveLinx LITE Wireless Node without Sensor (10)	**HB128APK** = L channel hanger bar, 26", pair (replacement) **RMB22** = Adjustable wood joist mounting bars, pair, extend to 22" long **HSA6** = Slope Adapter for 6" Aperture Housings, Specify Slope (refer to instructions for installing housing and trim) **H347** = 347 to 120V step down transformer, 75VA **H347200** = 347 to 120V step down transformer, 200VA **WTA** = Field WaveLinx PRO Tilemount Sensor Kit (4) **WTK** = Field WaveLinx LITE Tilemount Sensor Kit (5)
		DLV = Distributed Low Voltage dimming driver 1%-100%, 1000-4000 lumens only. For use with DLVP system only, refer to DLVP specifications for details. (1)	**REMV7** = 7 watt emergency battery pack with remote test / indicator light, use with DLV only (1) (2) (3) (6) **REMV14** = 14 watt emergency battery pack with remote test / indicator light, use with DLV only (1) (2) (3) (6) **IEMV7** = 7 watt emergency battery pack with integral test / indicator light, use with DLV only (1) (2) (3) (6) **IEMV14** = 14 watt emergency battery pack with integral test / indicator light, use with DLV only (1) (2) (3) (6)	
Notes	**Notes** (7) Marked Spacing: Center to Center of Adjacent Luminaires = 36" Center of Luminaire to Building Member = 18" Minimum overhead = 0.5	**Notes** (1) Not available with CP models	**Notes** (1) Not available with CP models (2) Not available with D010347 (347V models) (3) ULus for U.S. only (4) WTA = WaveLinx PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinx PRO specifications.) (5) WTK = WaveLinx LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinx LITE specifications.) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C (9) WPN = WaveLinx PRO wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinx PRO specifications.) (10) WLN = WaveLinx LITE wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. Not compatible with 347V or Chicago plenum. (Refer to WaveLinx LITE specifications.)	**Notes** (4) WTA = WaveLinx PRO tilemount sensor kit for daylight dimming, PIR motion sensing, and optional RLTS - Real Time Location Services, use with D010 only. (Refer to WaveLinx PRO specifications.) (5) WTK = WaveLinx LITE tilemount sensor kit for daylight dimming, PIR motion sensing, use with D010 only. (Refer to WaveLinx LITE specifications.)

Quick Spec Emergency Mounting Frame Order Information

Select from the Quick Spec Mounting Frame ordering information to receive the *Fast Delivery* option for the frame.

Sample Number :

Quick Spec Emergency Mounting Frame: RR-HC620D010REM7

LED module and reflectors are ordered separately.

Order separately: LED Module: HM60525835 | Reflector: 61MDC

Quick Spec Code	Mounting Frame	Lumens	Driver Options	Factory Installed Emergency & Connected Lighting Options	Accessories (Order & Install Separately)
RR = East Region **BRR** = West Region	**HC6** = 6" new construction downlight housing	**10** = 1000 lm **15** = 1500 lm **20** = 2000 lm **30** = 3000 lm **40** = 4000 lm	**D010**=UNV 120-277V, 50/60Hz, 0-10V 1%-100% dimming at 120-277V on 0-10V controls	**REM7** = 7 watt emergency battery pack with remote test / indicator light, use with D010 only (2) (6) **REM14** = 14 watt emergency battery pack with remote test / indicator light, use with D010 only (2) (6) **IEM7** = 7 watt emergency battery pack with integral test / indicator light, use with D010 only (2) (6) **IEM14** = 14 watt emergency battery pack with integral test / indicator light, use with D010 only (2) (6)	**HB128APK** = L channel hanger bar, 26", pair (replacement) **RMB22** = Adjustable wood joist mounting bars, pair, extend to 22" long
Notes	**Notes**	**Notes**	**Notes**	**Notes** (2) Not available with D010347 (347V models) (6) Emergency battery backup options are Non-IC only, and rated for a minimum starting temperature of 0°C	**Notes**

LED Module Order Information

LED Module	Lumens	CRI/CCT	
HM6 = 6" LED Modules For use with HC6 - HC6CP New Construction housings only	**0525** = 500 - 2500 lumen **3040** = 3000-4000 lumen **4560** = 4500-6000 lumen	**827** = 80CRI, 2700K **830** = 80CRI, 3000K **835** = 80CRI, 3500K **840** = 80CRI, 4000K **850** = 80CRI, 5000K	**927** = 90CRI, 2700K **930** = 90CRI, 3000K **935** = 90CRI, 3500K **940** = 90CRI, 4000K **950** = 90CRI, 5000K
Notes	**Notes**	**Notes**	

Trim Order Information

Reflector	Distribution[8]	Finish	Flange	Accessories
61 = 6" conical reflector	**ND** = narrow 55° beam angle 0.97 SC **MD** = medium 60° beam angle 1.10 SC **WD** = wide 65° beam angle 1.28 SC **RWW** = rotatable wall wash with linear spread lens	**C** = Specular clear **H** = Semi-specular clear **W** = White	**Blank** = Polished flange standard with C & H reflectors **Blank** = White flange standard with W reflector **WF** = White flange option available with C & H reflectors	**61RWWPK** = Replacement part kit - wall wash lens insert - for use with 61RWW* only.
Notes	**Notes** (8) Values are nominal, with specular clear reflector, other finishes and field results may vary.	**Notes**	**Notes**	**Notes**

Baffle	Distribution[8]	Finish	Flange	Accessories
61 = 6" baffle reflector	**WD** = wide 65° beam angle 1.28 SC (nominal) **RWW** = rotatable wall wash with linear spread lens	**BB** = Black baffle **WB** = White baffle	**Blank** = White flange standard with BB, & WB **BF** = Black flange option available with BB	**61RWWPK** = Replacement part kit - wall wash lens insert - for use with 61RWW* only.
Notes	**Notes** (8) Values are nominal, with specular clear reflector, other finishes and field results may vary.	**Notes**	**Notes**	**Notes**

Reflector	Distribution[8]	Finish	Flange
61PS = 6" non-conductive polymer 'dead front' conical reflector[9]	**MD** = medium 60° beam angle 1.10 SC (nominal)	**W** = White	**Blank** = White flange standard with W reflector
Notes (9) 61PS is 1000-2000 lumens Non-IC rated. 500 & 750 lumens IC rated. 61PS is not for use over 2000lm in Non-IC or over 750lm in IC.	**Notes** (8) Values are nominal, with specular clear reflector, other finishes and field results may vary.	**Notes**	**Notes**

IEM Reflector	Distribution[8]	Finish	Flange	Integral Emergency
61 = 6" IEM reflector for integral emergency only	**ND** = narrow 55° beam angle 0.97 SC **MD** = medium 60° beam angle 1.10 SC **WD** = wide 65° beam angle 1.28 SC	**C** = Specular clear **H** = Semi-specular clear **W** = White	**Blank** = Polished flange standard with C & H reflectors **Blank** = White flange standard with W reflector **WF** = White flange option available with C & H reflectors	**IEM** = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	**Notes** (8) Values are nominal, with specular clear reflector, other finishes and field results may vary.	**Notes**	**Notes**	**Notes**

IEM Baffle	Distribution[8]	Finish	Flange	Integral Emergency
61 = 6" IEM baffle reflector for integral emergency only	**WD** = wide 65° beam angle 1.28 SC (nominal)	**BB** = Black baffle **WB** = White baffle	**Blank** = White flange standard with BB, & WB **BF** = Black flange option with BB	**IEM** = Reflector for use with integral emergency housings only. Provides access hole for integral emergency test switch.
Notes	**Notes** (8) Values are nominal, with specular clear reflector, other finishes and field results may vary.	**Notes**	**Notes**	**Notes**

Product Specifications

Housing Frame
- Boat shaped galvanized steel plaster frame with adjustable plaster lip
- Accommodates 1/2" to 1-1/2" thick ceilings
- Installs in new construction or from below the finished ceiling (non-accessible) for remodeling (with mounting bars removed)
- Provided with two remodel clips to secure the frame to the ceiling

Universal Mounting Bracket
- Adjusts 2" vertically from above and below the ceiling
- Use with the included mounting bars or with 1/2" Electric Metallic Tube (EMT)
- Removable to facilitate remodeling installation from below the finished ceiling

Mounting Bars
- Captive pre-installed No Fuss™ mounting bars lock to T-grid with screwdriver or pliers
- Centering detents allow for consistent positioning of fixtures

LED Module
- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- Available in 80 or 90 color rendering index (CRI)
- Color accuracy within 3 SDCM provides color consistency and uniformity
- 90 CRI option: R9>50 (refer to chromaticity information for details)
- Available in 2700K, 3000K, 3500K, 4000K and 5000K correlated color temperature (CCT)
- Lumen options include 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumens (nominal)
- Passive thermal management achieves 60,000 hours at 70% lumen maintenance (L70) in insulated ceilings (IC) and non-IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

Reflector
- Self-flanged aluminum reflectors available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (500 & 750 lumen max. in IC and 2000 lumen max. in Non-IC)
- Wall wash reflector features a rotatable linear spread lens for alignment of vertical illumination
- Reflectors attach to LED module with three speed clamps
- Available in multiple painted or plated finishes

Reflector/Module Retention
- Reflector/module assembly is securely retained in the housing with two torsion springs

Driver
- Field-replaceable constant current driver provides low noise operation
- Universal 120-277VAC 50/60Hz input standard
- Continuous, 1% to 100% dimming with 0-10V analog control
- Optional low-voltage DC driver for use with Distributed Low Voltage Power (DLVP) system
- Distributed Low Voltage Power (DLVP) system combines power, lighting and controls with ease of installation (refer to DLVP Design Guide at www.cooperlighting.com for details)

Canada Options
- 347VAC 50/60Hz; 1% dimming on 0 -10V analog control, for 500, 750, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000 lumen models only
- 347V step down transformer factory installed with the standard "D010" 120V-277V, LED driver on 5500, 6000 lumen models only

Emergency Option
- Provides 90 minutes of standby lighting, meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch
- Available Self-Test (self-diagnostic) with remote charge indicator and test switch
- Quick Spec emergency ordering option for quick-turn projects

Connected Lighting System
Two WaveLinx connected solutions to choose from. Refer to WaveLinx system specifications and application guides for details.

WaveLinx PRO Tilemount Sensor Kit
- WaveLinx PRO WTA tilemount sensor kit offers daylight dimming, PIR motion sensing, scene and zone configuration, automatic commissioning; and optional RLTS - Real Time Location Services available.

WaveLinx PRO Wireless Node
- WaveLinx PRO WPN wireless node provides luminaire-level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

WaveLinx LITE Tilemount Sensor Kit
- WaveLinx LITE WTK tilemount sensor kit offers daylight dimming and PIR motion sensing, scene and grouping configuration.

WaveLinx LITE Wireless Node
- WaveLinx LITE WLN wireless node provides luminaire level control with scene and zone configuration without an integrated sensor; Connects wirelessly with daylight dimming sensor and PIR motion sensor if desired. Use with 0-10V driver only. **Note:** Not compatible with 347V or Chicago plenum.

WaveLinx Tilemount Sensor Kits Application
- The WTA and WTK tilemount sensor kits include a control module mounted on the luminaire junction box via 1/2" knock-out, and a tilemount sensor on 54-inch whip; for ceiling installation by direct-mount spring clips or via mounting bracket in octagon ceiling boxes.
- The WTA and WTK tilemount sensor kits may be ordered as factory installed on the luminaire, or ordered separately as a field installed accessory kit.
- **Note: WaveLinx PRO devices are only compatible with the WaveLinx PRO system.**
- **Note: WaveLinx LITE devices are only compatible with the WaveLinx LITE system.**

Junction Box
- Galvanized steel junction box
- 20 in^3 internal volume excluding voltage barrier
- 25 in^3 internal total volume
- Voltage barrier for 0-10V dimming wires (occupies one 1/2" pry-out space)
- Listed for eight #12 AWG (four in, four out) 90˚C conductors and feed-thru branch wiring
- Three 1/2" and two 3/4" trade size pry-outs available
- Three 4-port push wire nuts for mains voltage with 1-port for fixture connection

Compliance
- cULus Certified to UL 1598 / C22.2 No. 250.0, suitable for damp locations and wet locations in covered ceilings only
- Emergency options provided with UL Listed emergency drivers to UL 924 / C22.2 No. 141, suitable for indoor/damp locations
- IP20 - Above finished ceiling; IP65 - Below finished ceiling
- Non-Insulated ceiling (Non-IC) rated for 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000 lumen models (insulation must be kept 3" from top and sides)
- Insulated ceiling (IC) rated for 500, 750, 1000, 1500, 2000 lumen models and suitable for direct contact with air permeable insulation* (IC models are also suitable for Non-IC installations)
- Non-IC marked spacing required for 4500, 5000, 5500, 6000 lumen models
  - Marked Spacing Center to Center of Adjacent Luminaires = 36"
  - Center of Luminaire to Building Member = 18"
  - Minimum overhead = 0.5"
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V
- Contains no mercury or lead and RoHS compliant
- Photometric testing completed in accordance of IES LM-79-08
- Lumen maintenance projection in accordance of IES LM-80-08 and TM-21-11
- 500, 750, 1,000, 1,500 and 2,000 lumen, 90 CRI, ICAT models may be used to comply with State of California Title 24 residential code, per JA8 certification standards
- May be used to comply with State of California Title 24 non-residential code as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database

*Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013

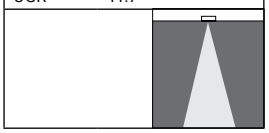
Warranty
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Photometric Data

View IES files

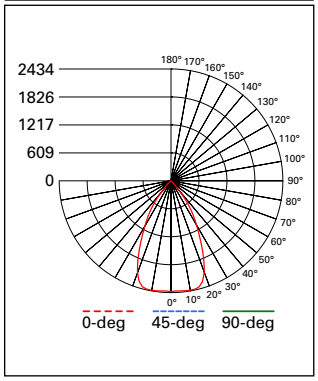
NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

NARROW (55° BEAM*)	
Test Number	P581878
Housing	HC620D010
Module	HM60525835
Reflector	61NDC
Lumens	2228 Lm
Efficacy	111.4 Lm/W
SC	0.93
UGR	11.7

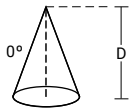


CANDLEPOWER DISTRIBUTION

Downlight



CONE OF LIGHT



MH	FC	L	W
5.5'	80.2	5	5
7'	49.5	6.4	6.4
8'	37.9	7.4	7.4
9'	30	8.2	8.2
10'	24.3	9.2	9.2
12'	16.9	11	11

CANDELA TABLE

Degrees Vertical	Candela
0	2427
5	2422
15	2405
25	1621
35	761
45	118
55	12
65	3
75	2
85	0
90	0

ZONAL LUMEN SUMMARY

Zone	Lumens	% Fixture
0-30	1636	73.4
0-40	2098	94.2
0-60	2223	99.8
0-90	2228	100
90-180	0	0
0-180	2228	100

LUMINANCE

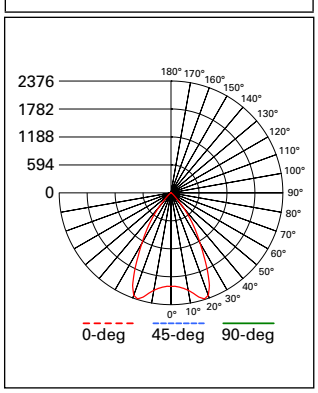
Average Candela Degrees	Average 0° Luminance
45	9187
55	1118
65	376
75	318
85	0

MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

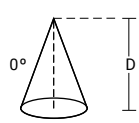
MEDIUM (60° BEAM*)	
Test Number	P581875
Housing	HC620D010
Module	HM60525835
Reflector	61MDC
Lumens	2307 Lm
Efficacy	115.3 Lm/W
SC	1.06
UGR	11.8

CANDLEPOWER DISTRIBUTION

Downlight



CONE OF LIGHT



MH	FC	L	W
5.5'	68.7	5.6	5.6
7'	42.4	7.2	7.2
8'	32.5	8.2	8.2
9'	25.7	9.4	9.4
10'	20.8	10.4	10.4
12'	14.4	12.4	12.4

CANDELA TABLE

Degrees Vertical	Candela
0	1998
5	2022
15	2307
25	1842
35	796
45	126
55	15
65	4
75	2
85	0
90	0

ZONAL LUMEN SUMMARY

Zone	Lumens	% Fixture
0-30	1671	72.4
0-40	2163	93.8
0-60	2301	99.7
0-90	2307	100
90-180	0	0
0-180	2307	100

LUMINANCE

Average Candela Degrees	Average 0° Luminance
45	9753
55	1395
65	571
75	318
85	0

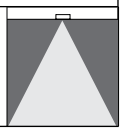
Note: Refer to IES files for more product data.

Photometric Data

View IES files

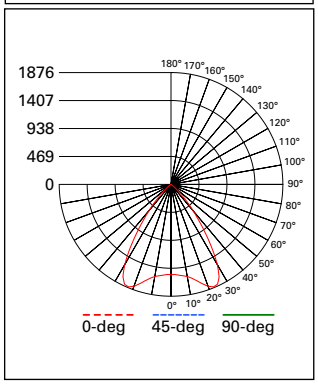
WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WIDE (65° BEAM*)	
Test Number	P581885
Housing	HC620D010
Module	HM60525835
Reflector	61WDC
Lumens	2359 Lm
Efficacy	118 Lm/W
SC	1.28
UGR	11.6

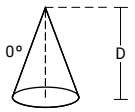


CANDLEPOWER DISTRIBUTION

Downlight



CONE OF LIGHT



MH	FC	L	W
5.5'	50.5	7	7
7'	31.2	8.8	8.8
8'	23.9	10.2	10.2
9'	18.8	11.4	11.4
10'	15.3	12.8	12.8
12'	10.6	15.4	15.4

CANDELA TABLE

Degrees Vertical	Candela
0	1526
5	1540
15	1685
25	1861
35	1027
45	252
55	32
65	6
75	2
85	0
90	0

ZONAL LUMEN SUMMARY

Zone	Lumens	% Fixture
0-30	1461	61.9
0-40	2105	89.2
0-60	2351	99.6
0-90	2359	100
90-180	0	0
0-180	2359	100

LUMINANCE

Average Candela Degrees	Average 0° Luminance
45	19506
55	3078
65	765
75	318
85	0

*Value are nominal with specular clear reflectors, other finishes and field results may vary.
SC = Spacing Criteria
UGR = Unified Glare Rating

Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.12	1.46	1.76

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
1.81	2.17	2.28	2.38	2.65

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.92	0.91	0.82

Multipliers for relative lumen values with other color finishes.

CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K	5000K
0.92	0.98	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

CCT Multipliers – 90CRI

2700K	3000K	3500K	4000K	5000K
0.77	0.84	0.89	0.90	0.90

Multipliers for relative lumen values with other series color temperatures.

Note: Refer to IES files for more product data.

Photometric Data

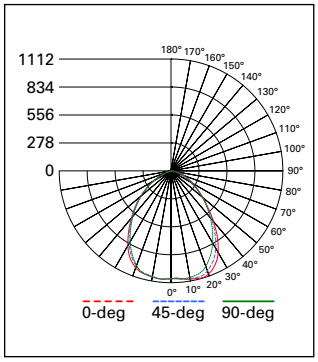
View IES files

WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

WALL WASH	
Test Number	P581882
Housing	HC620D010
Module	HM60525835
Reflector	61RWWC
Lumens	2179 Lm
Efficacy	109 Lm/W
SC	1.15

CANDLEPOWER DISTRIBUTION

Downlight



CANDELA TABLE	
Degrees Vertical	Candela
0	1080
5	1081
15	1112
25	1034
35	800
45	514
55	319
65	184
75	85
85	12
90	0

ZONAL LUMEN SUMMARY		
Zone	Lumens	% Fixture
0-30	849	39
0-40	1313	60.2
0-60	1978	90.8
0-90	2179	100
90-180	0	0
0-180	2179	100

LUMINANCE	
Average Candela Degrees	Average 0° Luminance
45	39810
55	30479
65	23907
75	17983
85	7359

SC = Spacing Criteria, nominal for specular clear reflector, other finishes and field results may vary.

SINGLE UNIT FOOTCANDLES

	2.5' from wall (distance from fixture along wall)						
1	19.3	13.8	6.1	2.2	0.7	0.3	0.1
2	29.1	22.6	12.3	5.7	2.5	1.2	0.6
3	27.6	22.5	13.8	7.3	3.7	1.9	1
4	21	18.2	12.4	7.4	4.2	2.4	1.4
5	14.4	13.1	9.9	6.6	4.1	2.5	1.6
6	9.7	9.1	7.5	5.5	3.7	2.5	1.6
7	6.7	6.4	5.5	4.3	3.2	2.2	1.5
8	4.7	4.6	4.1	3.4	2.7	2	1.4
9	3.4	3.3	3.1	2.7	2.2	1.7	1.3
10	2.5	2.5	2.4	2.1	1.8	1.4	1.1

MULTIPLE UNIT FOOTCANDLES

	2.5' from wall (Distance from fixture along 3')			2.5' from wall (Distance from fixture along 4')		
1	21.5	19.1	21.5	20	12.1	20
2	34.7	34.4	34.7	31.6	24.6	31.6
3	34.9	36	34.9	31.3	27.6	31.3
4	28.4	30.7	28.4	25.2	24.8	25.2
5	21	23.2	21	18.6	19.8	18.6
6	15.2	16.8	15.2	13.4	15	13.4
7	11	12	11	9.9	11	9.9
8	8.1	8.7	8.1	7.4	8.2	7.4
9	6.1	6.5	6.1	5.6	6.2	5.6
10	4.6	4.9	4.6	4.3	4.7	4.3

Photometric Multipliers (Nominal Lumen Values)

500 Lumen	750 Lumen	1000 Lumen	1500 Lumen	2000 Lumen	2500 Lumen	3000 Lumen	3500 Lumen
0.33	0.44	0.54	0.74	1.00	1.12	1.46	1.76

4000 Lumen	4500 Lumen	5000 Lumen	5500 Lumen	6000 Lumen
1.81	2.17	2.28	2.38	2.65

Multipliers for relative lumen values with other series models.

Color Finish Multipliers

Finish code	C	H	W/WB	BB
Finish	Specular Clear	Semi-Specular	Matte White White Baffle	Black Baffle
Multiplier	1.00	0.92	0.91	0.82

Multipliers for relative lumen values with other color finishes.

CCT Multipliers – 80CRI

2700K	3000K	3500K	4000K	5000K
0.92	0.98	1.00	1.03	1.03

Multipliers for relative lumen values with other series color temperatures.

CCT Multipliers – 90CRI

2700K	3000K	3500K	4000K	5000K
0.77	0.84	0.89	0.90	0.90

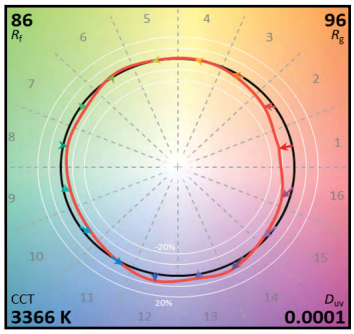
Multipliers for relative lumen values with other series color temperatures.

Note: Refer to IES files for more product data.

Energy & Performance Data

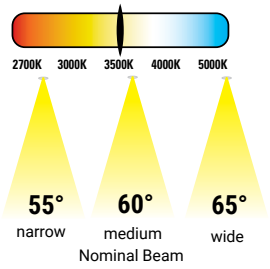
COLOR METRICS - TM-30-15 & CRI/CIE (3500K)

80 CRI Color Metric Summary - 3500K*

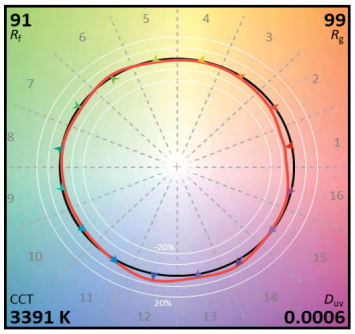


Reference Illuminant — Test Source

TM-30-15	Rf = 86
	Rg = 95.5
CRI/CIE	Ra = 83.8
	R9 = 10.3

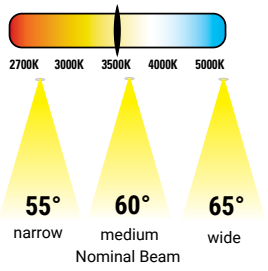


90 CRI Color Metric Summary - 3500K*



Reference Illuminant — Test Source

TM-30-15	Rf = 91.1
	Rg = 99
CRI/CIE	Ra = 92.4
	R9 = 55.1



* Color values are based on 61WDWB reflector, other finishes and field results may vary.

ENERGY DATA

Series	500 lumen		750 lumen		1000 lumen		1500 lumen		2000 lumen	
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.051	0.026	0.067	0.036	0.083	0.039	0.119	0.053	0.171	0.077
Input Power (W)	6.1	6.5	7.9	8.3	10	10.4	14.5	14.5	20.9	20.6
In-rush (A)	1.9	8.4	2	8.4	2.2	8.5	2.7	8.5	2.1	9.7
Inrush duration (µs)	251	135	237	133	250	134	250	139	245	131
THD (%)	6.2	13.5	7.4	8.8	5.4	10.3	10	6.7	6.5	7.9
PF	≥ 0.99	≥ 0.9	≥ 0.98	≥ 0.92	≥ 0.99	≥ 0.95	≥ 0.99	≥ 0.97	≥ 0.99	≥ 0.96

Series	2500 lumen		3000 lumen		3500 lumen		4000 lumen		4500 lumen	
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
Input Current (A)	0.23	0.103	0.24	0.107	0.292	0.152	0.351	0.159	0.384	0.172
Input Power (W)	27.5	27.5	28.6	28.5	34.6	35.1	42.1	42.1	45.9	45.6
In-rush (A)	2.5	5.6	2.5	11.6	3.4	13.9	3.1	14.7	3.1	14.8
Inrush duration (µs)	232	123	216	111	183	95	200	98	202	100
THD (%)	6.5	8.1	7.8	8.3	5.6	10	4.1	9.5	4.5	8.5
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.93	≥ 0.99	≥ 0.94	≥ 0.99	≥ 0.95

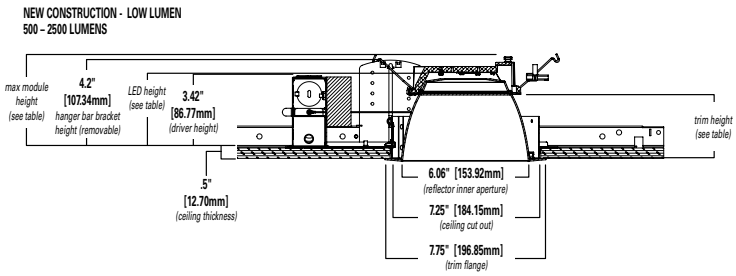
Series	5000 lumen		5500 lumen		6000 lumen	
Input Voltage 120-277VAC	120V	277V	120V	277V	120V	277V
Input Current (A)	0.419	0.186	0.457	0.201	0.489	0.214
Input Power (W)	50.1	49.5	54.6	53.7	58.4	57.4
In-rush (A)	3.1	15	3.2	14.8	3.4	14.8
Inrush duration (µs)	202	117	196	131	192	121
THD (%)	5.5	7.6	7	7.2	8.1	7.2
PF	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.96	≥ 0.99	≥ 0.97

Minimum starting temperature -30°C (-22°F)* (Nominal input 120-277VAC & 100% of rated output power)
Sound Rating: Class A standards

Notes:
* Emergency Battery packs are rated for a minimum starting temperature of 0°C.

Dimensional and Mounting Details

NEW CONSTRUCTIONS - LOW LUMEN 500 – 2500 LUMENS



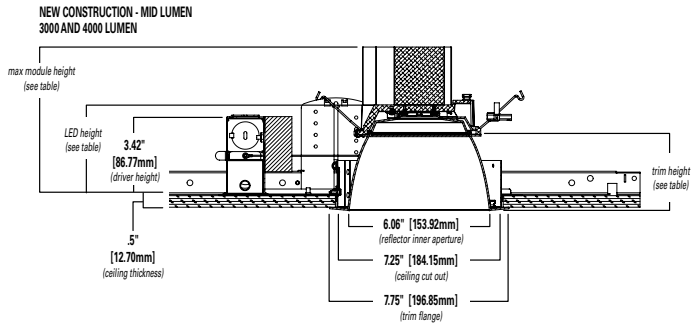
Low Lumen (500 – 2500 Lumens)*

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	4.5"	3.4"	3.8"
Medium	4.6"	3.5"	3.9"
Wide	4.4"	3.3"	3.7"
Baffle	4.4"	3.3"	3.7"

*Max. height w/removable hanger bar bracket 4.2"

Low Lumen Module

NEW CONSTRUCTIONS - MID LUMEN 3000 – 4000 LUMENS

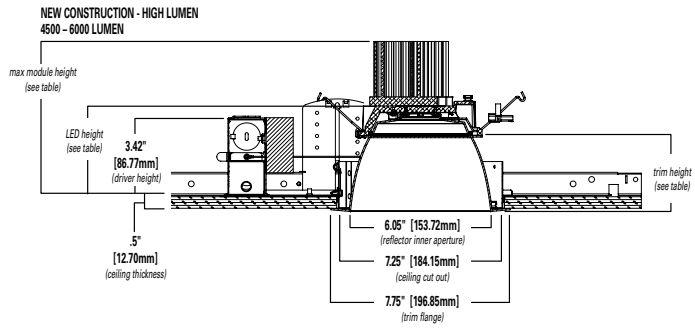


Mid Lumen (3000 – 4000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.6"	3.4"	3.8"
Medium	6.7"	3.5"	3.9"
Wide	6.5"	3.3"	3.7"
Baffle	6.5"	3.3"	3.7"

Mid Lumen Module

NEW CONSTRUCTIONS - HIGH LUMEN 4500 – 6000 LUMENS



High Lumen (4500 – 6000 Lumens)

Distribution	Max. Module Height	Trim Height	LED Height
Narrow	6.9"	3.4"	3.8"
Medium	7.0"	3.5"	3.9"
Wide	6.8"	3.3"	3.7"
Baffle	6.8"	3.3"	3.7"

High Lumen Module

Connected Solutions

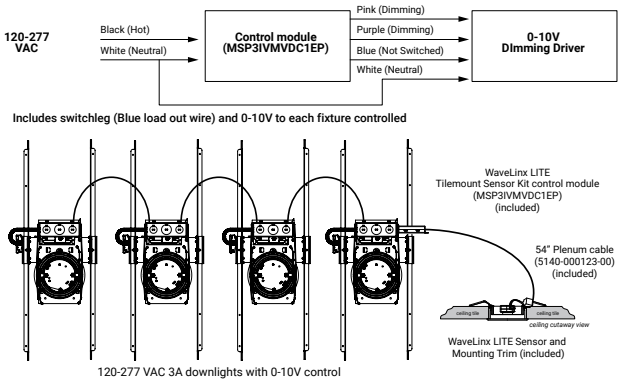
WaveLinx LITE - WTK Tilemount Sensor

WaveLinx LITE devices only compatible with the WaveLinx LITE system.

- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Automatic occupancy or vacancy, sensor sensitivity, daylight dimming, etc. configurable through the app
- Refer to the WaveLinx system specifications for details

Device Security | Manual Dimmer | Occupancy Sensor | Daylighting Control | Manually Switched ON/OFF | Tuning Control | Lumen Maintenance Control | Scenes

WaveLinx LITE WTK Tilemount Wiring Diagram



WaveLinx LITE Bluetooth Enabled System

WaveLinx PRO – WTA Tilemount Sensor

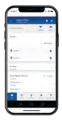
WaveLinx PRO devices only compatible with the WaveLinx PRO system.

- WaveLinx PRO tilemount functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with Wireless Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

Downlights with tilemount sensor wireless communication
Highly efficient LED fixtures

WaveLinx Area Controller
Provides centralized coordination of multiple area control options

Wireless Wall Station/Receptacle
Provides customized wireless control of each area



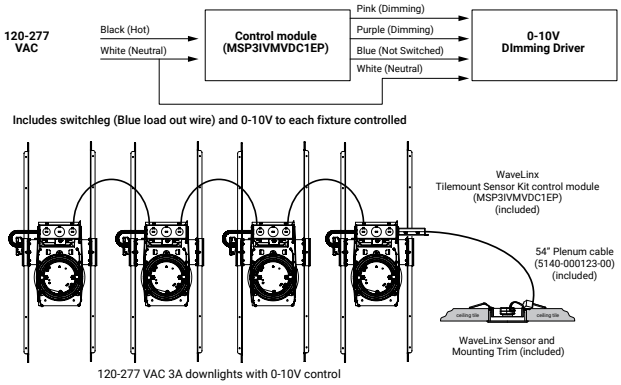
Mobile Applications
Provides personalized, local control from a tablet or smartphone

WaveLinx mobile app settings

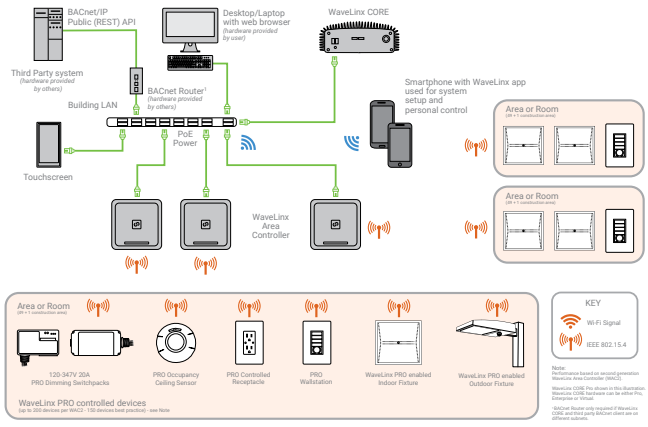
Manual Dimmer | Occupancy Sensor | Lumen Maintenance Control | Daylighting Control

Receptacle Control | Tuning Control | Scheduling | Manually Switched ON/OFF | Demand Response

WaveLinx WTA Tilemount Wiring Diagram



WaveLinx CORE Building Management Integration



Connected Solutions

WaveLinx LITE Wireless Node - WLN

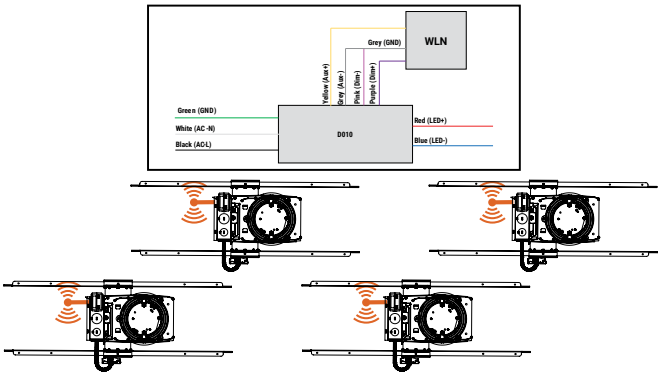
WaveLinx LITE devices only compatible with the WaveLinx LITE system.

- Intuitive Android™ or Apple® iOS® app for basic system code compliant set up and configuration via Bluetooth
- Up to 28 unique areas per project site (WaveLinx LITE Bluetooth network)
- Up to 50 devices for an area, any one of 16 control zones, up to 6 occupancy sets, and custom lighting scenes
- Refer to the WaveLinx system specifications for details

WaveLinx mobile app settings

Device Security · Manual Dimmer · Occupancy Sensor · Daylighting Control · Manually Switched ON/OFF · Tuning Control · Lumen Maintenance Control · Scenes

WaveLinx LITE Wireless Node (WLN) Wiring Diagram



WaveLinx LITE Bluetooth Enabled System

WaveLinx PRO Wireless Node - WPN

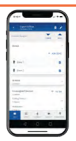
WaveLinx PRO devices only compatible with the WaveLinx PRO system.

- WaveLinx Wireless functionality configures zones and customizes settings from one secure mobile app
- Automatic code commissioning that meets the strictest codes
- Fixtures and sensors integrate with WaveLinx Area Controller, Wall Stations, and Control Devices
- Stand-Alone Offices or Entire Building Network Installations

Downlights with wireless communication
Highly efficient LED fixtures

WaveLinx Area Controller
Provides centralized coordination of multiple area control options

Wireless Wall Station/Receptacle
Provides customized wireless control of each area

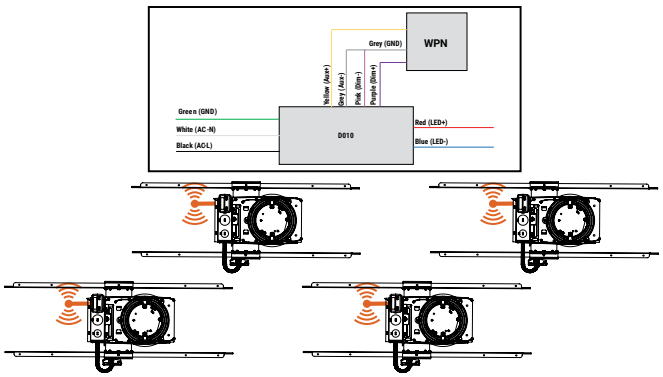


Mobile Applications
Provides personalized, local control from a tablet or smartphone

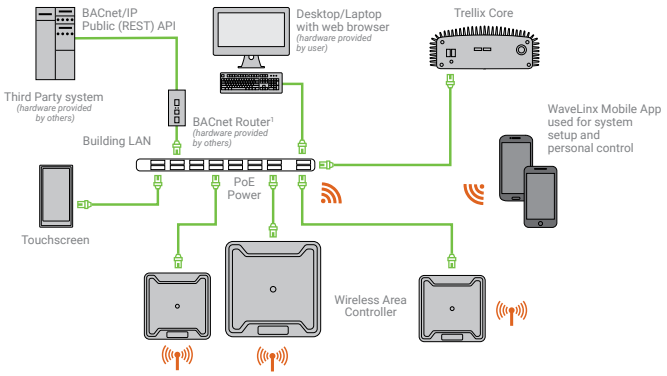
WaveLinx mobile app settings

Manual Dimmer · Occupancy Sensor · Lumen Maintenance Control · Daylighting Control · Receptacle Control · Tuning Control · Scheduling · Manually Switched ON/OFF · Demand Response

WaveLinx PRO Wireless Node (WPN) Wiring Diagram



WaveLinx CORE Building Management Integration



Cooper Lighting Solutions
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.cooperlighting.com

BEACON
design . performance . technology

VIPER Area/Site

VIPER LUMINAIRE

TYPE: SA
SA.BC
SB.BC
SC.SL

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

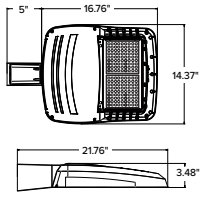
MICRO STRIKE | OPTICS STRIKE

FEATURES

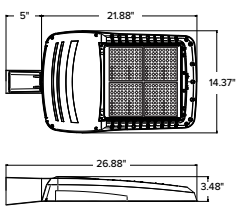
- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

c UL us IP65 DLC LISTED DLC LISTED PREMIUM ida DARK SKY APPROVED 2016 BAA TAA

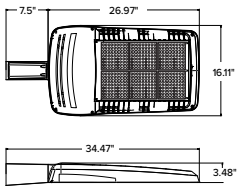
SIZE 1



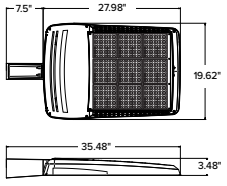
SIZE 2



SIZE 3



SIZE 4



CONTROL TECHNOLOGY

NX CONNECT NX WIRED NX WIRELESS LIGHTGRID+

SERVICE PROGRAMS

STOCK QS10

SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater that 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40˚C to 40˚C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)

CONTROLS (CONTINUED)

- 0- 10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

	EPA				
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	Config.
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to http://www.designlights.org for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40˚C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to https://www.currentlighting.com/resources/america-solutions).

WARRANTY

- 5 year warranty

BEACON
design . performance . technology

DATE: | LOCATION:

TYPE: | PROJECT:

CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS – ORDERING GUIDE

Gray Shading = Service Program Limit of 15 luminaires

QS10

Example: VP–2–320L-145–3K7–2–R–UNV–A3–BLT

CATALOG #

VP –

Series	Optic Platform	Size	Light Engine		CCT/CRI		Distribution		Optic Rotation		Voltage	
VP Viper	Micro Strike	1 Size 1	160L-35 [6]	5500 lumens	AP	AP-Amber Phosphor Converted	2	Type 2	BLANK	No Rotation	UNV	120-277V
			160L-50 [6]	7500 lumens	27K8	2700K, 80 CRI	3	Type 3	L	Optic rotation left	120	120V
			160L-75	10000 lumens	3K7	3000K, 70 CRI	4F	Type 4 Forward	R	Optic rotation right	208	208V
			160L-100	12500 lumens	3K8	3000K, 80 CRI	4W	Type 4 Wide			240	240V
			160L-115	15000 lumens	35K8	3500K, 80 CRI	5QW	Type 5 Square Wide			277	277V
			160L-135	18000 lumens	3K9	3000K, 90 CRI					347	347V
			160L-160	21000 lumens	4K7	4000K, 70 CRI					480	480V
		2 Size 2	320L-145	21000 lumens	4K8	4000K, 80 CRI						
			320L-170	24000 lumens	4K9	4000K, 90 CRI						
			320L-185	27000 lumens	5K7	5000K, 70 CRI						
			320L-210	30000 lumens	5K8	5000K, 80 CRI						
			320L-235	33000 lumens								
			320L-255	36000 lumens								
			320L-315 [6]	40000 lumens								
		3 Size 3	480L-285	40000 lumens								
			480L-320	44000 lumens								
			480L-340	48000 lumens								
			480L-390	52000 lumens								
			480L-425	55000 lumens								
			480L-470	60000 lumens								
		4 Size 4	720L-435	60000 lumens								
			720L-475	65000 lumens								
			720L-515	70000 lumens								
			720L-565 [6]	75000 lumens								
			720L-600 [6]	80000 lumens								
			CLO	Custom Lumen Output [1]								

Mounting	
A	Arm mount for square pole/flat surface (B3 Drill Pattern) (Does not include round pole adapter)
A_	Arm mount for round pole [2]
ASQU	Universal arm mount for square pole. Can be used with B3 or S2 Drill Pattern
A_U	Universal arm mount for round pole [2]
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole [2]
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole [2]
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

Color	
BLT	Black Matte Textured
BLS	Black Gloss Smooth
DBT	Dark Bronze Matte Textured
DBS	Dark Bronze Gloss Smooth
GTT	Graphite Matte Textured
LGS	Light Grey Gloss Smooth
LGT	Light Grey Gloss Textured
PSS	Platinum Silver Smooth
WHT	White Matte Textured
WHS	White Gloss Smooth
VGT	Verde Green Textured
Color Option	
CC	Custom Color

Options	
F	Fusing
2PF	Dual Power Feed
2DR	Dual Driver
TE	Tooless Entry
BC	Backlight Control [8]
TB	Terminal Block

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming [1,3,4]
NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming [1,3,4]
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor [3,4]
WIR	LightGRID+ In-Fixture Module [3,4]
WIRSC	LightGRID+ Module and Occupancy Sensor [3,4]
Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle [4]
7PR-SC	7-Pin Receptacle with shorting cap [4]
3PR	3-Pin twist lock [4]
3PR-SC	3-Pin receptacle with shorting cap [4]
3PR-TL	3-Pin PCR with photocontrol [4]
Programmed Controls	
SCP-_F	Sensor Control Programmable, 8F or 40F [9]
ADD	AutoDim Timer Based Dimming [4]
ADT	AutoDim Time of Day Dimming [4]
Photocontrols	
PC	Button Photocontrol [4,7]

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information
2 – Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
3 – Networked Controls cannot be combined with other control options
4 – Not available with 2PF option
5 – Not available with Dual Driver option
6 – Some voltage restrictions may apply when combined with controls
7 – Not available with 480V
8 – BC not available on 4F and type 5 distributions
9 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

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CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

STRIKE OPTIC – ORDERING GUIDE

Example: VP–ST–1–36L-39–3K7–2–UNV–A–BLT

CATALOG #

VP –

Series	
VP	Viper

– | Optic Platform | |
|---|---|
| ST | Strike |

– | Size | |
|---|---|
| 1 | Size 1 |
| 2 | Size 2 |
| 3 | Size 3 |
| 4 | Size 4 |

– | Light Engine | |
|---|---|
| 36L-39 [8] | 5500 lumens |
| 36L-55 [8] | 7500 lumens |
| 36L-85 | 10000 lumens |
| 36L-105 | 12500 lumens |
| 36L-120 | 14000 lumens |
| 72L-115 | 15000 lumens |
| 72L-145 | 18000 lumens |
| 72L-180 | 21000 lumens |
| 72L-210 | 24000 lumens |
| 72L-240 | 27000 lumens |
| 108L-215 [8] | 27000 lumens |
| 108L-250 | 30000 lumens |
| 108L-280 | 33000 lumens |
| 108L-325 | 36000 lumens |
| 108L-365 | 40000 lumens |
| 162L-320 | 40000 lumens |
| 162L-365 [10] | 44000 lumens |
| 162L-405 | 48000 lumens |
| 162L-445 | 52000 lumens |
| 162L-485 | 55000 lumens |
| 162L-545 [8] | 60000 lumens |
| CLO | Custom Lumen Output [1] |

– | CCT/CRI | |
|---|---|
| AM | monochromatic amber, 595nm |
| 27K8 | 2700K, 80 CRI |
| 3K7 | 3000K, 70 CRI |
| 3K8 | 3000K, 80 CRI |
| 3K9 | 3000K, 90 CRI |
| 35K8 | 3500K, 80 CRI |
| 4K7 | 4000K, 70 CRI |
| 4K8 | 4000K, 80 CRI |
| 4K9 | 4000K, 90 CRI |
| 5K7 | 5000K, 70 CRI |
| 5K8 | 5000K, 80 CRI |

– | Distribution | |
|---|---|
| FR | Auto Front Row |
| 2 | Type 2 |
| 3 | Type 3 |
| 4F | Type 4 Forward |
| 4W | Type 4 Wide |
| 5QN | Type 5 Square Narrow |
| 5QW | Type 5 Square Wide |
| 5QM | Type 5 Square Medium |
| 5W | Type 5 Wide (Round) |
| 5RW | Type 5 Rectangular |
| C | Corner Optic |
| TC | Tennis Court Optic |

– | Optic Rotation | |
|---|---|
| BLANK | No Rotation |
| L | Optic rotation left |
| R | Optic rotation right |

– | Voltage | |
|---|---|
| UNV | 120-277V |
| 120 | 120V |
| 208 | 208V |
| 240 | 240V |
| 277 | 277V |
| 347 | 347V |
| 480 | 480V |

–

Mounting	
A	Arm mount for square pole/flat surface
A_	Arm mount for round pole [3]
ASQU	Universal arm mount for square pole
A_U	Universal arm mount for round pole [3]
AAU	Adjustable arm for pole mounting (universal drill pattern)
AA_U	Adjustable arm mount for round pole [3]
ADU	Decorative upswept Arm (universal drill pattern)
AD_U	Decorative upswept arm mount for round pole [3]
MAF	Mast arm fitter for 2-3/8" OD horizontal arm
K	Knuckle
T	Trunnion
WB	Wall Bracket, horizontal tenon with MAF
WM	Wall mount bracket with decorative upswept arm
WA	Wall mount bracket with adjustable arm

– | Color | |
|---|---|
| BLT | Black Matte Textured |
| BLS | Black Gloss Smooth |
| DBT | Dark Bronze Matte Textured |
| DBS | Dark Bronze Gloss Smooth |
| GTT | Graphite Matte Textured |
| LGS | Light Grey Gloss Smooth |
| LGT | Light Grey Gloss Textured |
| PSS | Platinum Silver Smooth |
| WHT | White Matte Textured |
| WHS | White Gloss Smooth |
| VGT | Verde Green Textured |

Color Option	
CC	Custom Color

– | Options | |
|---|---|
| F | Fusing |
| E | Battery Backup [1,2,7,8,9] |
| 2PF | Dual Power Feed |
| 2DR | Dual Driver |
| TE | Tooless Entry |
| BC | Backlight Control |
| TB | Terminal Block |

Network Control Options	
NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming [1,4,5]
NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming [1,4,5]
NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor [4,5]
WIR	LightGRID+ In-Fixture Module [4,5]
WIRSC	LightGRID+ Module and Occupancy Sensor [4,5]

Stand Alone Sensors	
BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming® Photocell and 360° Lens
BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
7PR	7-Pin Receptacle [4]
7PR-SC	7-Pin Receptacle with shorting cap [4]
3PR	3-Pin twist lock [4]
3PR-SC	3-Pin receptacle with shorting cap [4]
3PR-TL	3-Pin PCR with photocontrol [4]

Programmed Controls	
SCP-_F	Sensor Control Programmable, 8F or 40F [11]
ADD	AutoDim Timer Based Dimming [4]
ADT	AutoDim Time of Day Dimming [4]

Photocontrols	
PC	Button Photocontrol [4,7]

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information
2 – Battery temperature rating -20C to 55C
3 – Replace "_" with "3" for 3.5"-4.13" OD pole, "4" for 4.18"-5.25" OD pole, "5" for 5.5"-6.5" OD pole
4 – Networked Controls cannot be combined with other control options
5 – Not available with 2PF option
6 – Not available with 480V
7 – Not available with 347 or 480V
8 – Not available with Dual Driver option
9 – Only available in Size 1 housing, up to 105 Watts
10 – Some voltage restrictions may apply when combined with controls
11 – At least one SCPREMOTE required to program SCP motion sensor. Must select 8ft or 40ft.

VIPER Area/Site

VIPER LUMINAIRE

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

ORDERING GUIDE (CONT'D)

CATALOG #

Accessory Type		Size		Option		Color	
SHD	Shield	**1**	Size 1	**HSS-90-B**	House Side Shield 90° Back	**BLS**	Black Gloss Smooth
		2	Size 2	**HSS-90-F**	House Side Shield 90° Front	**BLT**	Black Matte Textured
		3	Size 3	**HSS-90-S**	House Side Shield 90° Side	**DBS**	Dark Bronze Gloss Smooth
		4	Size 4	**HSS-270-BSS**	House Side Shield 270° Back/Side/Side	**DBT**	Dark Bronze Matte Textured
				HSS-270-FSS	House Side Shield 270° Front/Side/Side	**GTT**	Graphite Matte Textured
				HSS-270-FSB	House Side Shield 270° Front/Side/Back	**LGS**	Light Gray Gloss Smooth
				HSS-360	House Side Shield 360°	**PSS**	Platinum Silver Smooth
				BC	Back Light Control	**WHS**	White Gloss Smooth
MTG	Mounting			**A**	Arm Mount for square pole/flat surface	**WHT**	White Matte Textured
				ASQU	Universal Arm Mount for square pole	**VGT**	Green Landscape Decorative
				AAU	Adjustable Arm for pole mounting	**LEG**	Legacy Colors
				ADU	Decorative upswept Arm	**Color Option**	
				RPA	Round Pole Adapter	**CC**	Custom Color
				MAF	Mast Arm Fitter for 2-3/8" OD horizontal arm		
				K	Knuckle		
				T	Trunnion		
				WB	Wall Bracket (compatible with universal arm mounts)		

Accessory Type		Option	
MSC	Miscellaneous	**BIRD SPK**	Bird Spike

Current Control Solutions — Accessories (Sold Separately)

NX Lighting Controls

☐ **NXOFM-1R1D-UNV** — On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with NX Radio and Bluetooth® Radio, 120–480VAC

LightGRID+ Lighting Control

☐ **WIR-RME-L** — On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with LightGRID+ Radio, 110–480VAC

☐ **SCP-REMOTE** — Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor

For additional information related to these accessories please visit currentlighting.com/beacon. Options provided for use with integrated sensor, please view specification sheet ordering information table for details.

DATE: LOCATION:

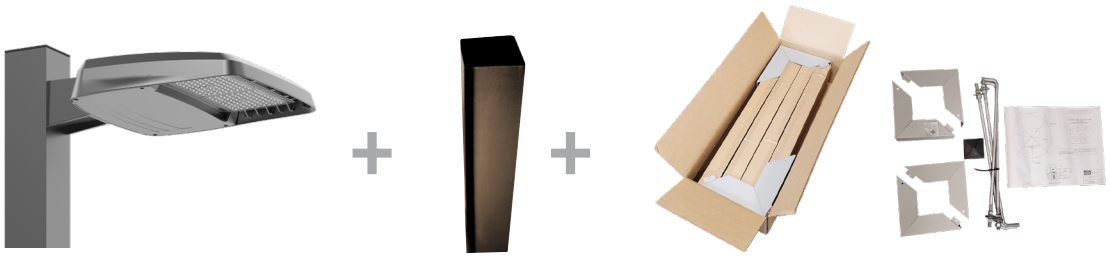
TYPE: PROJECT:

CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

VIPER POLE EXPRESS COMBO – ORDERING GUIDE



Catalog Number	Pole	Single or Double Head	Fixture	Lumens*	Wattage	Distribution	CCT/CRI	Mounting	Finish
VP-1-160-4K-3-LS-S20	**20' Square Straight Steel**	Single	**VP-1-160-4K-3-LS**	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S20-2X	**20' Square Straight Steel**	Double	**VP-1-160-4K-3-LS**	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20	**20' Square Straight Steel**	Single	**VP-1-160-4K-4F-LS**	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S20-2X	**20' Square Straight Steel**	Double	**VP-1-160-4K-4F-LS**	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25	**25' Square Straight Steel**	Single	**VP-1-160-4K-3-LS**	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-3-LS-S25-2X	**25' Square Straight Steel**	Double	**VP-1-160-4K-3-LS**	19584	158W	Type 3	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25	**25' Square Straight Steel**	Single	**VP-1-160-4K-4F-LS**	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-4K-4F-LS-S25-2X	**25' Square Straight Steel**	Double	**VP-1-160-4K-4F-LS**	19426	158W	Type 4F	4000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20	**20' Square Straight Steel**	Single	**VP-1-160-5K-3-LS**	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S20-2X	**20' Square Straight Steel**	Double	**VP-1-160-5K-3-LS**	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20	**20' Square Straight Steel**	Single	**VP-1-160-5K-4F-LS**	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S20-2X	**20' Square Straight Steel**	Double	**VP-1-160-5K-4F-LS**	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25	**25' Square Straight Steel**	Single	**VP-1-160-5K-3-LS**	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-3-LS-S25-2X	**25' Square Straight Steel**	Double	**VP-1-160-5K-3-LS**	19499	158W	Type 3	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25	**25' Square Straight Steel**	Single	**VP-1-160-5K-4F-LS**	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured
VP-1-160-5K-4F-LS-S25-2X	**25' Square Straight Steel**	Double	**VP-1-160-5K-4F-LS**	19186	158W	Type 4F	5000K/70CRI	Universal Arm	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – STOCK LUMINAIRE SKUS

Catalog Number	Lumens	LPW	Distribution	Wattage	CCT/CRI	Voltage	Mounting	Finish
VP-1-160-4K-3-LS	19584	123.9	3	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-4K-4F-LS	19426	122.9	4F	158W	4000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-3-LS	19499	123.4	3	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured
VP-1-160-5K-4F-LS	19186	121.4	4F	158W	5000K/70CRI	120-277V	Universal Arm with RPA (A3U)	Dark Bronze Textured

VIPER POLE EXPRESS COMBO – ACCESSORIES

Catalog Number	Description
VM14DB	Vibration Dampener, mounts to top of pole for reduced vibration

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CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY

LIGHTGRID+ NX LIGHTING CONTROLS MOBILE APP

	Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components	
			Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NX Wireless	NXOFM1R1D-UNV	NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming	✓	✓	✓	Paired with external control	✓	✓	✓	✓	–		NXOFM-1R1D-UV
	NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	–	–	✓	✓	✓	–		NXRM2-H
	NXWS12F	NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft		NXSMP2-OMNI-O
	NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft		NXSMP2-LMO
	NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft		NXSMP2-HMO
LightGRID+	WIR	LightGRID+ In-Fixture Module	✓	–	✓	–	–	✓	✓	Gateway	–		WIR
	WIR-RME-L	LightGRID+ On Fixture Module	✓	–	✓	–	–	✓	✓	Gateway	–		WIR-RME-L
	WIRSC	LightGRID+ Module and Occupancy Sensor	✓	✓	✓	✓	✓	✓	✓	Gateway	14ft - 40ft		BTMSP
Independent	BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	–	–	–	✓	✓	✓	✓	✓	12ft		BTSMP-OMNI-O
	BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	–	–	–	✓	✓	✓	✓	✓	14ft		BTSMP-LMO
	BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	–	–	–	✓	✓	✓	✓	✓	40ft		BTSMP-HMO

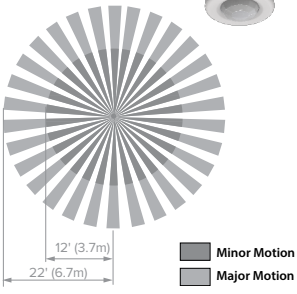
DEFAULT SETTINGS

NX Wireless	
Occupancy Sensor	Enabled
Occupancy Sensor Sensitivity	7
Occupancy Sensor Timeout	15 Minutes
Occupied Dim Level	100%
Unoccupied Dim Level	0%
Daylight Sensor	Disabled
Bluetooth	Enabled
2.4GHz Wireless Mesh	On
"Passcode Factory Passcode: HubbN3T!"	Enabled

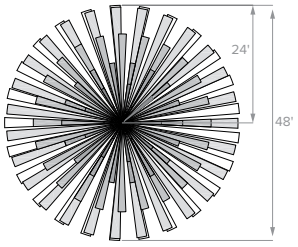
Stand Alone	
Occupancy Sensor	Enabled
Occupancy Sensor Sensitivity	7
Occupancy Sensor Timeout	8 Minutes
Occupied Dim Level	100%
Unoccupied Dim Level	50%
Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS

NXSMP2-OMNI

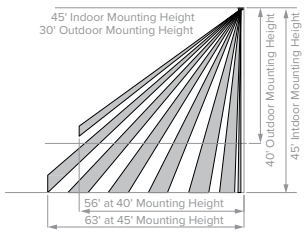


NXSMP2-LMO



Sensor Lens Coverage and Detection Patterns When Mounted at 8ft with Low Mount Lens

NXSMP2-HMO



Sensor Lens Coverage and Detection Patterns When Mounted at 40ft and 45ft with Standard Lens

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VIPER Area/Site

VIPER LUMINAIRE

DATE: | LOCATION:

TYPE: | PROJECT:

CATALOG #:

NX LIGHTING CONTROLS FREE APP

The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminiares and program NX system settings.

Apple App: https://apps.apple.com/us/app/nx-lighting-controls/id962112904

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&gl=US

Apple App

Google Play

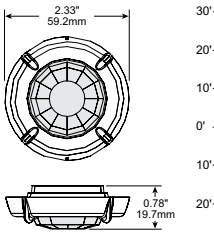
CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)

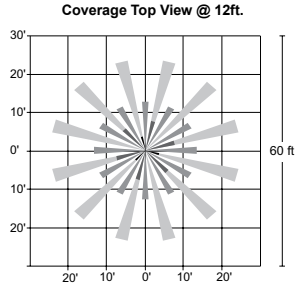
OUTDOOR LIGHTING CONTROLS OPTIONS

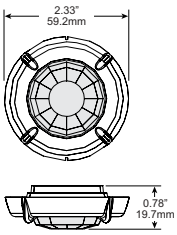
CONTROLS FUNCTIONALITY

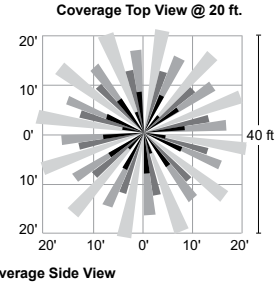
	Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components
			Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
Independent	SCP_F	Sensor Control Programmable, 8F or 40F	–	–	–	✓	✓	✓	✓	–	8ft or 40ft	SCP_F
	ADD	AutoDIM Timer Based Dimming	–	–	✓	–	–	–	✓	–	–	ADD
	ADT	AutoDIM Time of Day Dimming	–	–	✓	–	–	–	✓	–	–	ADT
	7PR	7-Pin Receptacle	–	–	Paired with external control	–	Paired with external control	–	Paired with external control	–	–	7PR
	7PR-SC	7-Pin Receptacle with shorting cap	–	–	–	–	–	–	–	–	–	7PR-SC
	3PR	3-Pin twist lock	–	–	–	–	–	–	Paired with external control	–	–	3PR
	3PR-SC	3-Pin Receptacle with shorting cap	–	–	–	–	–	–	–	–	–	3PR-SC
	3PR-TL	3-Pin with photocontrol	–	–	–	–	✓	–	✓	–	–	3PR-TL

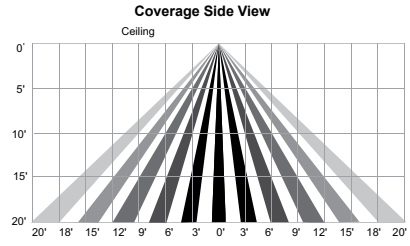
COVERAGE PATTERNS FOR SCP_F



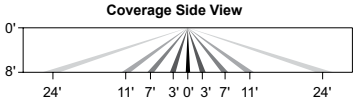


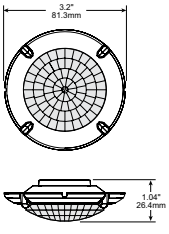


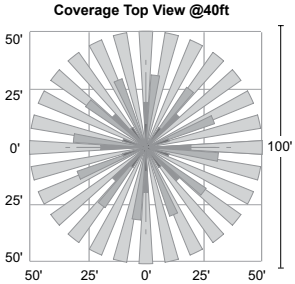


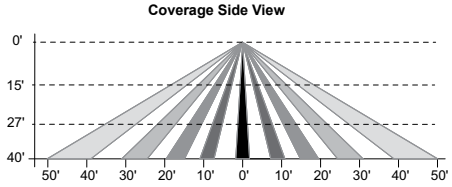


Coverage Side View









DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on www.Currentlighting.com

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L_{70} (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Micro Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	–	0.841	–
3000K	0.977	0.861	0.647
3500K	–	0.900	–
4000K	1	0.926	0.699
5000K	1	0.937	0.791
AP-Amber Phosphor Converted Multiplier			
Amber	0.710		

Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	0.9	0.81	0.62
3000K	0.933	0.853	0.659
3500K	0.959	0.894	0.711
4000K	1	0.9	0.732
5000K	1	0.9	0.732
Monochromatic Amber Multiplier			
Amber	See Amber Spec Sheet		

DATE: | LOCATION:

TYPE: | PROJECT:

CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

VIPER Area/Site

VIPER LUMINAIRE

ELECTRICAL DATA: STRIKE

# OF LEDS	36				
NOMINAL WATTAGE	39	55	85	105	120
SYSTEM POWER (W)	39.6	56.8	83.6	108.2	120.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	0.33	0.46	0.71	0.88	0.96
208	0.19	0.26	0.41	0.50	0.55
240	0.16	0.23	0.35	0.44	0.48
277	0.14	0.20	0.31	0.38	0.42
347	0.11	0.16	0.24	0.30	0.33
480	0.08	0.11	0.18	0.22	0.24

# OF LEDS	72				
NOMINAL WATTAGE	115	145	180	210	240
SYSTEM POWER (W)	113.7	143.2	179.4	210.2	241.7
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	1.00	1.21	1.50	1.75	1.79
208	0.58	0.70	0.87	1.01	1.03
240	0.50	0.60	0.75	0.88	0.90
277	0.43	0.52	0.65	0.76	0.78
347	0.35	0.42	0.52	0.61	0.62
480	0.25	0.30	0.38	0.44	0.45

# OF LEDS	108				
NOMINAL WATTAGE	215	250	280	325	365
SYSTEM POWER (W)	214.8	250.8	278.3	324.7	362.6
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	2.00	2.08	2.33	3.04	2.67
208	1.15	1.20	1.35	1.75	1.54
240	1.00	1.04	1.17	1.52	1.33
277	0.87	0.90	1.01	1.32	1.16
347	0.69	0.72	0.81	1.05	0.92
480	0.50	0.52	0.58	0.76	0.67

# OF LEDS		162				
NOMINAL WATTAGE	320	365	405	445	485	545
SYSTEM POWER (W)	322.1	362.6	403.6	445.1	487.1	543.9
INPUT VOLTAGE (V)		CURRENT (Amps)				
120	2.71	2.67	3.38	3.71	4.04	4.54
208	1.56	1.54	1.95	2.14	2.33	2.62
240	1.35	1.33	1.69	1.85	2.02	2.27
277	1.17	1.16	1.46	1.61	1.75	1.97
347	0.94	0.92	1.17	1.28	1.40	1.57
480	0.68	0.67	0.84	0.93	1.01	1.14

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

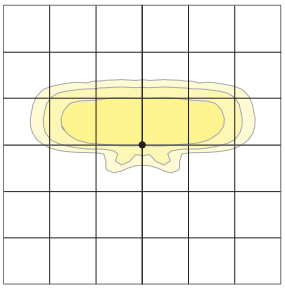
VIPER Area/Site

VIPER LUMINAIRE

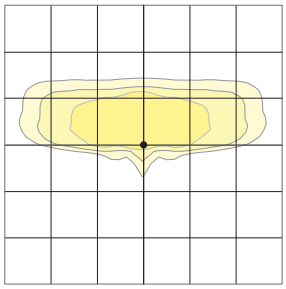
MICRO STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

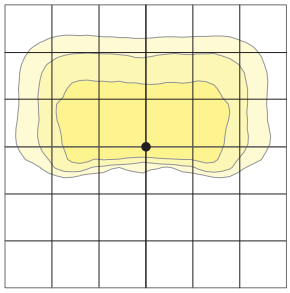
Type 2



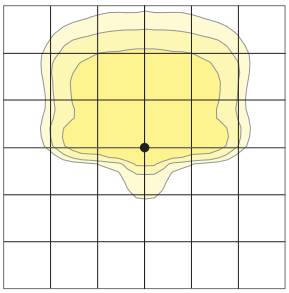
Type 3



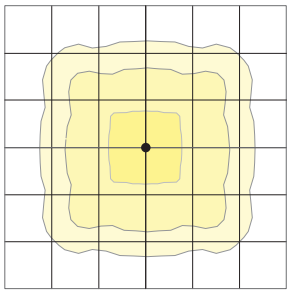
Type 4 Wide



Type 4F



Type 5QW



VIPER Area/Site

VIPER LUMINAIRE

DATE: LOCATION:

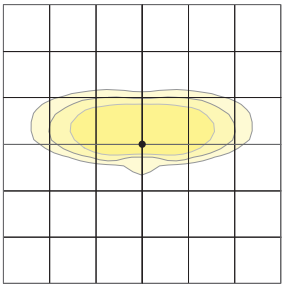
TYPE: PROJECT:

CATALOG #:

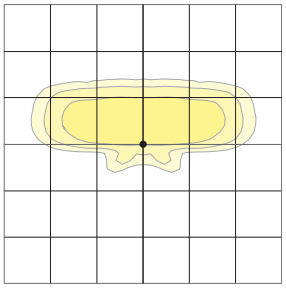
OPTIC STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

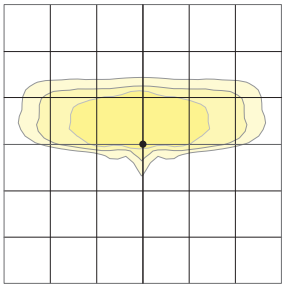
Type FR – Front Row/Auto Optic



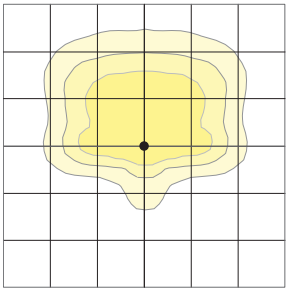
Type 2



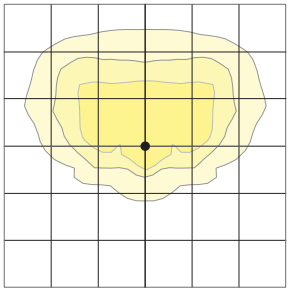
Type 3



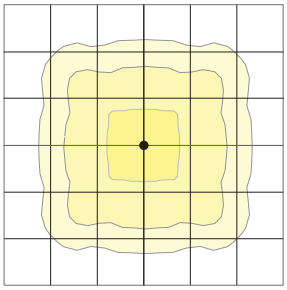
Type 4 Forward



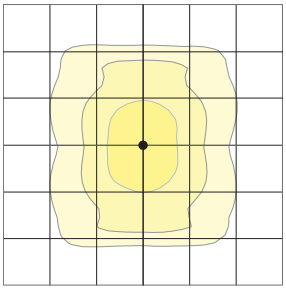
Type 4 Wide



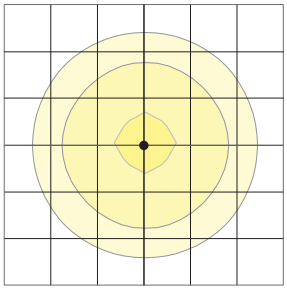
Type 5QM



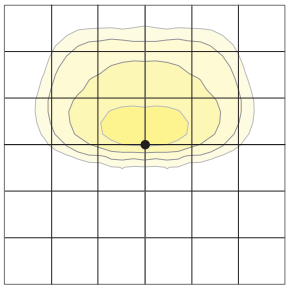
Type 5RW (rectangular)



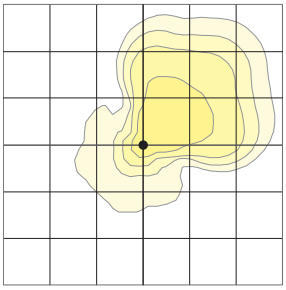
Type 5W (round wide)



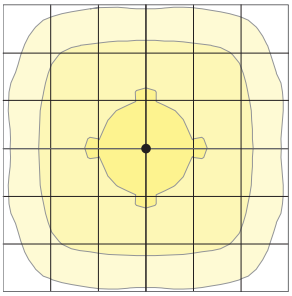
Type TC



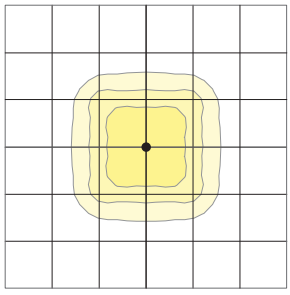
Type Corner



Type 5QW



Type 5QN



BEACON
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DATE: LOCATION:

TYPE: PROJECT:

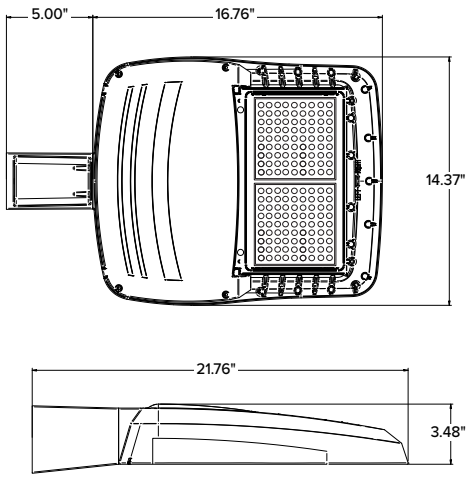
CATALOG #:

VIPER Area/Site

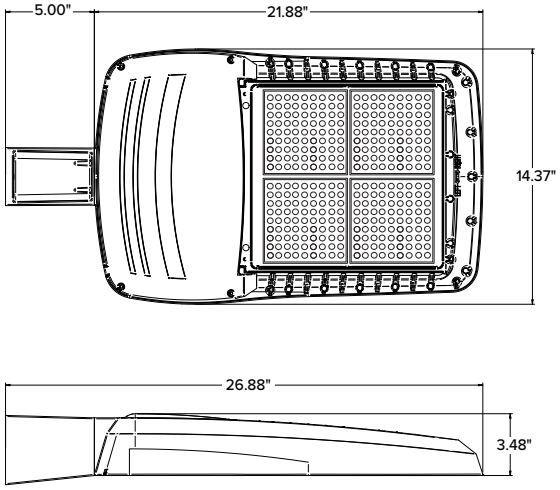
VIPER LUMINAIRE

DIMENSIONS

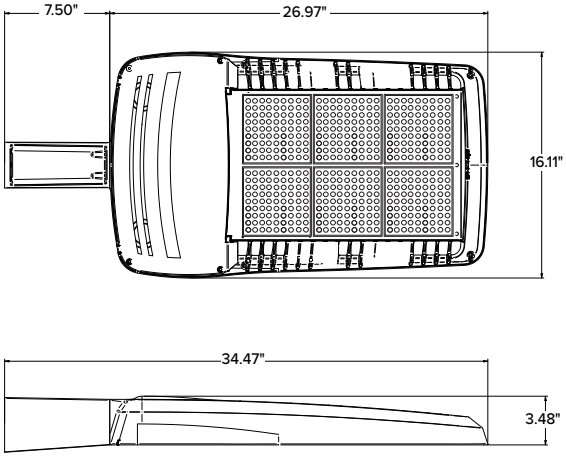
SIZE 1



SIZE 2



SIZE 3



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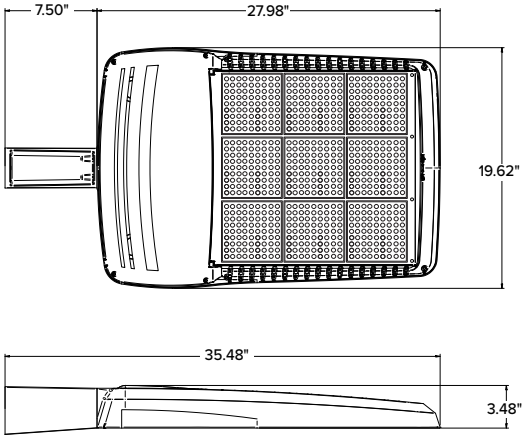


	EPA				
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	Config.
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9

VIPER Area/Site

VIPER LUMINAIRE

DATE: LOCATION:

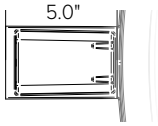
TYPE: PROJECT:

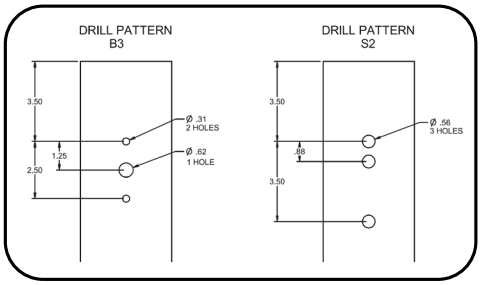
CATALOG #:

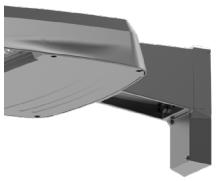
MOUNTING

A–STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern for ease of installation on square poles. For round poles add applicable suffix (2/3/4/5)

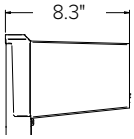


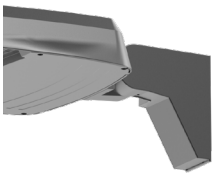




ASQU–UNIVERSAL ARM MOUNT

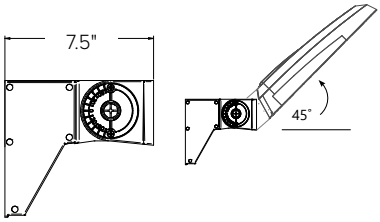
Universal mounting block for ease of installation. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)

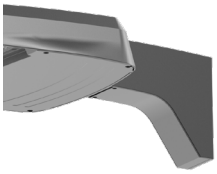




AAU–ADJUSTABLE ARM FOR POLE MOUNTING

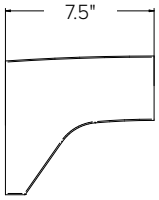
Rotatable arm mounts directly to pole. Compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2 and B3. For round poles add applicable suffix (2/3/4/5). Rotatable in 5˚ aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.

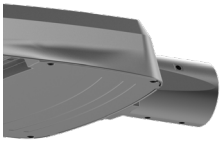




ADU–DECORATIVE UPSWEPT ARM

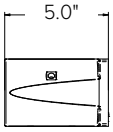
Upswept Arm compatible with drill patterns from 1.5" to 5.25" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5).

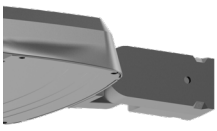




MAF–MAST ARM FITTER

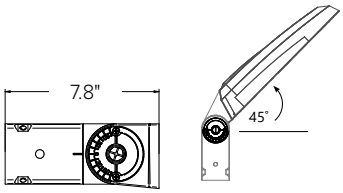
Fits 2-3/8" OD horizontal tenons.

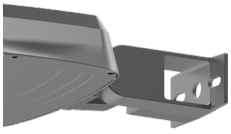




K–KNUCKLE

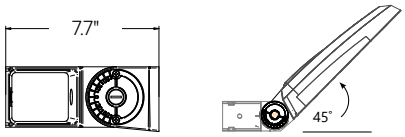
Rotatable in 5-degree aiming angle increments, fits 2-3/8" tenons or pipes. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.

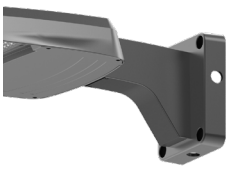




T–TRUNNION

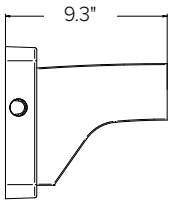
Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.





WM–WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.



VIPER Area/Site

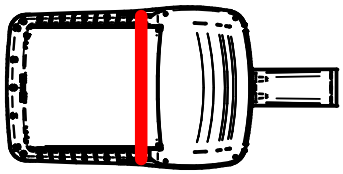
VIPER LUMINAIRE

ADDITIONAL INFORMATION (CONTINUED)

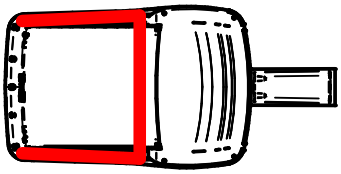
HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

HSS has a depth of 5" for all Viper sizes
Not to be used with Occupancy Sensors as the shield may block the light to the sensor.

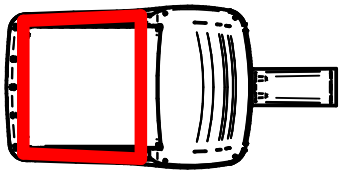
VPR2x HSS-90-B-xx



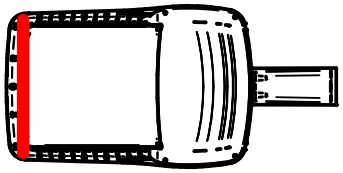
VPR2x HSS-270-BSS-xx



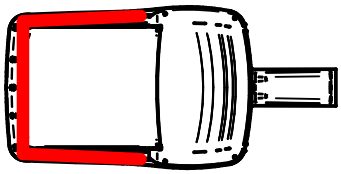
VPR2x HSS-360-xx



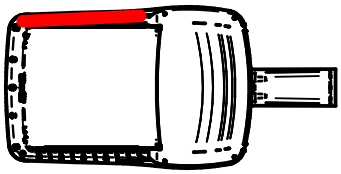
VPR2x HSS-90-F-xx



VPR2x HSS-270-FSS-xx



VPR2x HSS-90-S-xx



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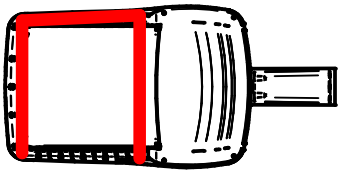

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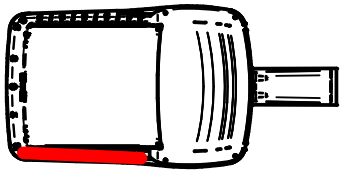

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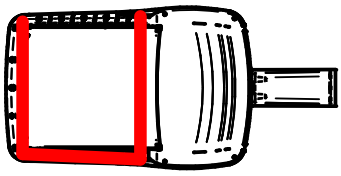


Prudent
DEVELOPMENT

June 4, 2024

City of Rockwall
Attn: Planning Department
385 S Goliad
Rockwall, TX 75087

RE: HTeaO at Creekside Commons (SP2024-025)
4853 S. Goliad Street
Updated Variance Request Letter

Enclosed please find copies of the revised site, landscape, photometric and building elevation plans for the upcoming June 11, 2024 Planning and Zoning Commission (P&Z) hearing.

As noted before, we are excited to be submitting plans for a proposed HTeaO drive-thru to be located on Lot 15, Creekside Commons Addition in south Rockwall. Our tenant is Jeff Ivy, a Rockwall-County based franchisee for HTeaO who is actively working to build several locations in the City of Rockwall and surrounding communities. Mr. Ivy previously submitted and received P&Z approval for a "north Rockwall" location and this will be his "south Rockwall" location, to reach more members of the community.

Following the May 28 meetings of the P&Z and Architectural Review Board (ARB), our team has revised the plans to meet City comments and the recommendations of each board, including the following key changes:

- Added a row of trees and architectural features on NE elevation to achieve 4-sided architecture compliance
- Modified and widened all tower elements to enhance projections and get rid "flat" parapet walls
- Updated all material percentages to ensure compliance with "max 50%" stucco and "min" 20% natural stone
- Internalized ladder to roof
- Increased height of building to ensure adequate parapet sizing to fully screen all rooftop equipment

It is our opinion the revised development plans results in a project that closely resembles the HTeaO project approved in north Rockwall, but also fits in nicely with the other projects in the Creekside Commons development and is customized to fit on this lot. Nonetheless, we have identified and acknowledge that with this application we are seeking the following variances/exceptions to the Unified Development Code, and respectfully request's the City consideration and approval:

1) Roof Design – All structures less than 6,000 sf building footprint require a pitched rood system.
2) 90% masonry requirement (proposed composite lumber material > 10% on each elevation specific to HTeaO)
3) Horizontal articulation (drive-thru side of building)

To offset these variances, we are providing the following compensatory measures:

- Increased landscape buffer along SH205 from **20-ft to 40-ft**, including berms/trees outside of existing utility easements.
- Increased overall open space **(>25% provided vs 20% required)**
- Parking lot landscaping **(almost 4x the minimum 5 percent)**.
- Effective and enhanced landscape screening adjacent to the drive-thru lane
- Removed exterior roof ladder and parapet opening with an internally located and "invisible" roof hatch
- Increased natural stone material beyond 20% (overall total of 35%, or 1,384-sf / 3960-sf)

Thank you for your consideration and we look forward to discussing further at the upcoming hearing.

Sincerely,

Michael Hampton, AICP
Vice President
Prudent Development
(Creekside Commons Crossing, LP")

Prudent Development
10755 Sandhill Road Dallas, Texas 75238
Phone 214.271.4630 Fax 214.271.4631

Being a tract of land situated in the William W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and being all of Lot 15, Block A and a portion of Lots 16 and 18, Block A of Creekside Commons Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plat thereof recorded in Instrument Number 20240000004925 of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 1/2 inch iron rod with yellow plastic cap stamped "Summit" found for corner, said corner being the south corner of said Lot 15, Block A, said corner also being the west corner of Lot 14, Block A of said Creekside Commons Addition, said corner also being in the northeast line of that tract of land described as Parcel 1 Part 1 in deed to the State of Texas recorded in Instrument Number 20180000021509 of the Official Public Records of Rockwall County, Texas;

Thence North 45 degrees 52 minutes 18 seconds West, along the northeast line of said State of Texas tract, a distance of 85.35 feet to an "X" found for corner, said corner being the south corner of said Lot 16, Block A;

Thence North 43 degrees 59 minutes 07 seconds East, along the southeast line of said Lot 16, Block A, a distance of 40.52 feet to a point for corner;

Thence North 45 degrees 55 minutes 37 seconds West, traversing said Lot 16, Block A, a distance of 10.84 feet to a point for corner;

Thence North 44 degrees 04 minutes 23 seconds East, continuing to traverse said Lot 16, Block A and traversing said Lot 18, Block A, a distance of 266.11 feet to a point for corner;

Thence South 45 degrees 51 minutes 55 seconds East, continuing to traverse said Lot 18, Block A, a distance of 105.48 feet to a point for corner;

Thence South 44 degrees 06 minutes 48 seconds West, continuing to traverse said Lot 18, Block A, a distance of 37.00 feet to a point for corner, said point being in the northeast line of aforementioned Lot 14, Block A;

Thence North 45 degrees 51 minutes 55 seconds West, along the northeast line of said Lot 14, Block A, a distance of 9.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "Summit" found for corner, said corner being the north corner of said Lot 14, Block A;

Thence South 44 degrees 06 minutes 48 seconds West, along the northwest line of said Lot 14, Block A, a distance of 269.61 feet to the POINT OF BEGINNING and containing 29,441 square feet or 0.676 acres of land.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	July 9, 2024
APPLICANT:	Neda Hosseiny; *Kimley-Horn and Associates, Inc.*
CASE NUMBER:	SP2024-031; *Site Plan for Heavy Manufacturing Facility (Ballard)*

SUMMARY

Discuss and consider a request by Neda Hosseiny of Kimley-Horn and Associates, Inc. on behalf of Phil Wagner of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan* for *Heavy Manufacturing Facility* (*i.e. Ballard*) on a 32.00-acre portion of a larger 70.5969-acre parcel of land identified as Lot 1, Block B, Rockwall Technology Park, Phase V Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Data Drive and Discovery Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20* [*Case No. A1998-002*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 5, 2005, -- *at the request of the Rockwall Economic Development Corporation (REDC)* -- the City Council approved *Ordinance No. 05-29* [*Case No. Z2005-021*], which changed the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. Following this approval, the City Council approved a final plat (*Case No. P2021-062*) establishing the subject property as a portion of Lot 1, Block B, Rockwall Technology Park, Phase V on December 6, 2021. On December 4, 2023, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2023-049; Ordinance No. 23-64*] to allow a *Heavy Manufacturing Facility* on the subject property. The subject property has remained vacant since annexation.

PURPOSE

On June 14, 2024, the applicant -- *Neda Hosseiny of Kimley-Horn and Associates, Inc.* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing an ~174,128 SF *Heavy Manufacturing Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of the intersection of Data Drive and Discovery Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Discovery Boulevard, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 76.6881-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Technology Park, Phase V Addition*), which is vacant and is zoned Light Industrial (LI) District. Beyond this are the corporate limits of the City of Rockwall followed by *Phase 1* of the Carrington Farms Subdivision, which is situated within the City of Fate. Also, north of this tract is a 6.4470-acre vacant tract of land (*i.e. Tract 3 of the J H B Jones Survey, Abstract No. 125*), which is zoned Light Industrial (LI) District and also owned by the Rockwall Economic Development Corporation (REDC).

South: Directly south of the subject property is Springer Road, which is identified as a M4U (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is the *Springer Water Tower*, which is owned by the City of Rockwall

and is zoned Light Industrial (LI) District. Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self Storage*) that is developed with a *Mini-Warehouse Facility* (*i.e. Highway 276 Self Storage*) and is zoned Light Industrial (LI) District.

East: Directly east of the subject property is the remainder of Lot 1, Block B, Rockwall Technology Park, Phase V Addition (*i.e. Tract 5, of the J H B Jones Survey, Abstract No. 125*), which is zoned Light Industrial (LI) District. Beyond this is Rochell Road, which is classified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 174.5990-acre vacant tract of land (*i.e. Tract 1, of the M E Hawkins Survey, Abstract No. 100*), which is zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses (*i.e. Discovery Lakes Subdivision*).

West: Directly west of the subject property is Data Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.9320-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*) that is developed with a *Light Manufacturing Facility* (*i.e. Bimbo Bakery*). This property is zoned Light Industrial (LI) District. Following this is a 12.00-acre parcel of land (*i.e. Lot 3, Block B, Rockwall Technology Park, Phase II Addition*) that is developed with a *Light Manufacturing Facility* (*i.e. RTT Engineered Solutions*). This property is also zoned Light Industrial (LI) District. West of this is a 10.649-acre vacant parcel of land (*i.e. Lot 1, Block B, Rockwall Technology Park Phase II Addition*), which is zoned Light Industrial (LI) District. Beyond this is Corporate Crossing, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* requires a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, the applicant received approval of a Specific Use Permit (SUP) for the *Heavy Manufacturing Facility* from the City Council on December 4, 2023 [*Case No. Z2023-049; Ordinance No. 23-64; S-320*]. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*12,500 SF*	*X=22.0-Acres; In Conformance*
Minimum Lot Frontage	*100-Feet*	*X= 521.91-feet; In Conformance*
Minimum Lot Depth	*125-Feet*	*X=521.91-feet; In Conformance*
Minimum Front Yard Setback	*25-Feet*	*X>25-feet; In Conformance*
Minimum Rear Yard Setback	*20-Feet*	*X>20-feet; In Conformance*
Minimum Side Yard Setback	*20-Feet*	*X>20-feet; In Conformance*
Maximum Building Height	*60-Feet*	*X=46-feet; In Conformance*
Max Building/Lot Coverage	*60%*	*X=25%; In Conformance*
Minimum Number of Parking Spaces	*Warehousing 1 Parking Space/1,000 SF* *Heavy Manufacturing 1 Parking Space/500 SF* *Office 1 Parking Space/300SF* *328 Required Spaces*	*X=151; In Conformance*
Minimum Landscaping Percentage	*15%*	*X>27%; In Conformance*
Maximum Impervious Coverage	*90-95%*	*X=73%; In Conformance*

TREESCAPE PLAN

The treescape plan provided by the applicant indicates that the development will result in the mitigation balance of 160.3 caliper inches. Based on the landscape plan provided by the applicant, 328 caliper inches are being planted on site, which satisfies the mitigation balance and no fee is required.

CONFORMANCE WITH THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* is defined as "(a) facility or area for generally mass-producing goods usually for sale to wholesalers or other industrial or manufacturing uses..." This definition goes on to state that "(a) heavy manufacturing use is one which employs the following or similar types of processes: … [3] production of large durable goods such as but not limited to motorcycles, cars, manufactured homes, or airplanes …" In this case, the proposed facility will be used for the production of hydrogen fuel cells and hydrogen fuel cell engines that are incorporated into busses, trains, trucks, boats, and heavy machinery. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Heavy Manufacturing Facility* requires a Specific Use Permit (SUP) in a Light Industrial (LI) District, which the applicant received approval of a Specific Use Permit (SUP) for these uses from the City Council on December 4, 2023 [*Case No. Z2023-049; Ordinance No. 23-64; S-320*].

When reviewing the parking requirements, the Unified Development Code (UDC) breaks down the land uses for this site plan into the following, *Office* (*i.e. one [1] parking space per 300 SF*), *Heavy Manufacturing* (*i.e. one [1] parking space per 500 SF*), and *Warehousing* (*i.e. one [1] parking space per 1,000 SF*). Based on the floor plan provided by the applicant, a total of 328 parking spaces are required. With that being said, the parking for the *Heavy Manufacturing* land use land use may also be calculated at one (1) parking space per 0.75 employees. In this case, the applicant has indicated that 198 employees will be employed; therefore requiring 149 parking spaces (*i.e. 198 employees x 0.75 parking spaces = 149 parking spaces*). The UDC more specifically states that either the square footage or the employee count may be used for a *Heavy Manufacturing Facility*, but the calculation that requires more parking must be used. In this case, the applicant is requesting to provide parking based on the employee count (*i.e. 149 parking spaces*) in lieu of by the square footage (*i.e. 328 parking spaces*). Staff should note that this has posed an issue in other industrial developments in the City (*i.e. as the business grows and adds employees the parking does not increase with this growth and creates issues*). To help alleviate this problem, staff requested that the applicant dedicate open space and provide a schematic demonstrating how the parking requirement could be met in the future; however, the applicant has chosen not to provide this information. In lieu of providing this information, the applicant has shown the future parking areas for the expansion of the site, and -- *when taking into account the future square footages of these expansion sites* -- the property will be well below the required parking count at buildout. Regardless of this, the applicant is requesting an exception to the parking requirements contained in the Unified Development Code (UDC), which is detailed in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

The proposed site plan indicates that there will be two (2) silos (*i.e. nitrogen and hydrogen storage*) and a pad mounted utility equipment yard (*i.e. transformers and generator*). According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all equipment shall be screened from all rights-of-way and adjacent properties. In this case, the equipment will have visibility from Discovery Boulevard, Springer Road, and the adjacent property to the east. Based on the landscape plan provided by the applicant they are providing [*1*] a ten (10) foot decorative screening fence around the equipment, and [*2*] a row of canopy trees and evergreen shrubs just north of the equipment. The applicant has indicated that the transparent fencing is required for the equipment yard for security and safety purposes. The provided landscaping will screen the equipment from Discovery Boulevard; however, it will still have visibility from Springer Road and the adjacent property. Given this, staff included a condition of approval that the applicant provide a row of evergreen shrubs along the eastern property line adjacent to the equipment yard.

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variance(s) and exception(s) being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) Architectural Standards.

(a) *Materials and Masonry Materials*. According to Subsection 05.01(A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- *excluding doors and windows* -- …" This section of the ordinance goes on to define a *Primary Material* as "…stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (*i.e. CMU's that have been sandblasted, burnished or that have a spilt face -- light weight block or smooth faced CMU shall be prohibited*)." In this case, the applicant is primarily using Insulated Metal Panel (IMP), which is *not* a permitted primary material. According to the building elevations IMP will be used in the following percentages: [*1*] 71% on the western building façade, [*2*] 93% on the northern building façade, [*3*] 100% on the eastern building façade, and [*4*] 98% on the southern building façade. Staff should note that this is not characteristic of any other building in the Rockwall Technology Park, and that all of the buildings are tilt wall construction or similar construction. This will require an *exception* from the Planning and Zoning Commission.

(b) *Stone*. According to Subsection 05.01(A), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades…" In this case, the material sample board provided by the applicant show the use of a stone tile, which is not considered to be a natural or quarried stone. In addition, the building elevations show that the stone tile will be less than 20.00% on three (3) of the four (4) building facades (*i.e.* 7.00% on the northern facade, 2.00% on the southern façade, and 0.00% on the eastern façade). Based on this, the applicant will require an *exception* from the Planning and Zoning Commission.

(c) *Primary Articulation*. According to Subsection 05.01(C)(1), *Primary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) primary building façade is any building facade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property." In this case, the only façade that would be classified as a *Primary Building Façade* would be the western building façade. This section of the code goes on to state that these facades "…shall meet the standards for articulation on primary building facades as depicted in *Figure 13*." In this case, the western building façade does *not* meet the articulation requirements for a *Primary Building Façade*, and will require an *exception* from the Planning and Zoning Commission.

(d) *Secondary Articulation*. According to Subsection 05.01(C)(2), *Secondary Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) secondary building façade is any building facade that does not have a primary entryway or an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residential used property." In this case, the northern, southern and eastern building façades are classified as a *Secondary Building Façade*s. This section of the code goes on to state that these facades "…shall meet the standards for articulation on secondary building facades as depicted in *Figure 13*." In this case, these building façades do *not* meet the articulation requirements for *Secondary Building Façades*, and will require an *exception* from the Planning and Zoning Commission.

(e) *Roof Design Standards*. According to Subsection 05.01(A)(2), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(p)rojecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall." In this case, the applicant is requesting to paint visible interior parapet walls to match the exterior façade. This will require an *exception* from the Planning and Zoning Commission.

(2) *Screening*. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)boveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform…" to Figure 4, *Aboveground Storage Tanks*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). Figure 4 indicates that aboveground storage tanks shall be screened with a masonry wall to match the building and canopy trees on 20-foot centers. In this case, the applicant is providing a ten (10) foot decorative metal fence and a row of canopy trees and evergreen shrubs. This will require an *exception* from the Planning and Zoning Commission.

(3) *Parking*. According to Table 05, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the applicant is required to provide 328 parking spaces based on the square footage of each land use within the proposed *Heavy Manufacturing Facility*. In this case the applicant is requesting to provide parking based on the employee count, for a total of 151 parking spaces. As previously noted, staff has requested that an open space area with a future parking layout be provided showing how the parking could be met in the future; however, the applicant has failed to provide this information. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In this case, the applicant has stated that they are attempting to meet LEED Gold Certified; however, some of the variances don't appear to be justified by this rationale (*i.e. articulation, parking, screening, stone, etc.*). In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing the following compensatory measures:

(1) 29-foot landscape buffer along Data Drive,
(2) +/- 35 landscape buffer against the building and future phases to the south,
(3) improved hardscape entrance,
(4) patio/plaza space,
(5) EV charging stations,
(6) increased vegetation screening north of silos,
(7) LEED Gold Certified Building,
(8) internalized roof access,
(9) feature canopy on west elevation,
(10) vertical solar shading devices on west elevation,
(11) high performance curtain wall and glazing systems,
(12) projecting mechanical screening to create visual interest, and
(13) high performance and warrantied coatings on the insulated metal panels for longevity and pleasing appearance.

In reviewing the proposed compensatory measures staff determined that, [*1*] items 1-5 and 7-8 are compensatory in nature, [*2*] item 6 is tied to the screening exception and does *not* currently meet the minimum requirements, is the reason they are requesting the exception, and therefore is *not* compensatory measure, [*3*] items 9, 10, and 12 are architectural elements that are required for all industrial buildings of this size and therefore are *not* compensatory measures, [*4*] item 11 does *not* appear to provide an offsetting measure for the requested exceptions, and [*5*] 13 is related to the use of a non-permitted building material (*i.e. IMP*) that is associated with an exception request. With that being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

Based on the goals and policies outlined in Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan, the proposed site plan does not conform with this Chapter. More specifically, the site plan does *not* conform with Goal 03, *Visual Impacts*, Policies 3 & 4, and Goal 04, *Commercial Building Design*, Policies 1 & 2. Policies 3 & 4, of Goal 03, detail that "…outside storage and loading dock areas should be screened with berms, landscaping, and wrought iron fences..." and "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- *or "articulated" in architectural terms…*" In this case, the applicant is requesting exceptions (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) related to the outside storage screening and articulation requirements within the Unified Development Code (UDC). Policies 1 & 2, of Goal 4, indicate that "(n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade…" and "(n)on-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." Again, the applicant is requesting an exception related to the material requirements (*detailed in Variances and Exceptions Requested by the Applicant section of the case memo*) within the UDC. All that being said, the proposed site plan appears to conform to Chapter 01, *Land Use and Growth Management*, District Strategy 1, and Chapter 06, *Economic Development*, Goal 07, *Workforce*, of the OURHometown

Visions 2040 Comprehensive Plan. More specifically, District Strategy 1 indicates that *Technology/Employment Center* land uses "…should be designated for larger clean industrial businesses that can help diversify the City's tax base…" In this case, the applicant is proposing a *Heavy Manufacturing Facility* that specializes in the construction of hydrogen fuel cells and hydrogen fuel cell engines. This type of business is characterized as a clean industrial business, and should further diversify the City's tax base by adding another industrial land use that involves a high initial investment in the community. In addition, this type of business can "(d)evelop, maintain and recruit a highly skilled workforce…", which directly satisfies Goal 07, of Chapter 06. In summary, the proposed *Heavy Manufacturing Facility* conforms to the clean industrial land use and skilled workforce policies, but does not meet many of the non-residential design guidelines associated with the building design as outlined within the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to reduce the amount of insulated metal panel on the building and utilize more traditional building materials (*i.e. tilt wall*). The applicant has chosen *not* to change the building elevations to meet ARB's recommendation. The ARB will review the revised building elevations at the *July 9, 2024* Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an ~174,128 SF *Heavy Manufacturing Facility* on the *subject property*, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,

(2) The applicant shall provide staff with an updated landscape plan that provides a row of evergreen shrubs along the eastern property line adjacent to the utility equipment; and,

(3) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☑ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☑ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northeast corner of Data Drive and Springer Road				
SUBDIVISION	Rockwall Technology Park Phase V		LOT	Part of 1	BLOCK B
GENERAL LOCATION	Northeast corner of Data Drive and Springer Road				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial - SUP No. S-320		CURRENT USE	Undeveloped	
PROPOSED ZONING	No Change		PROPOSED USE	Heavy Manufacturing	
ACREAGE	22	LOTS [CURRENT]	Part of Larger Lot	LOTS [PROPOSED]	1 New Lot

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Rockwall EDC	☑ APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Phil Wagner	CONTACT PERSON	Neda Hosseiny
ADDRESS	2610 Observation	ADDRESS	13455 Noel Road, Two Galleria Office Tower
	Suite 104		Suite 700
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Dallas, Texas 75240
PHONE	972.772.0025	PHONE	972.770.1300
E-MAIL	pwagner@rockwalledc.com	E-MAIL	neda.hosseiny@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 740.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

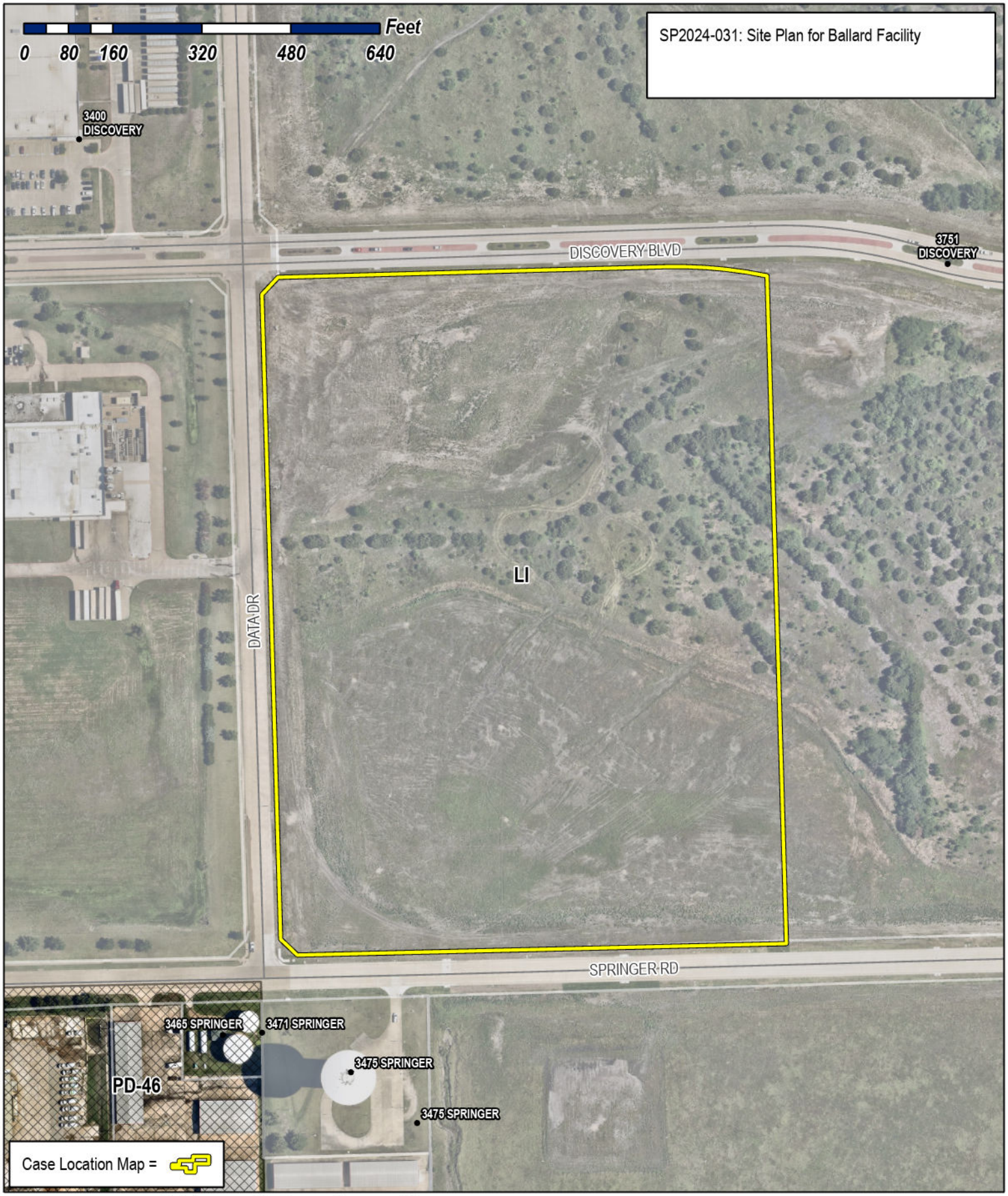
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th *DAY OF* June, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

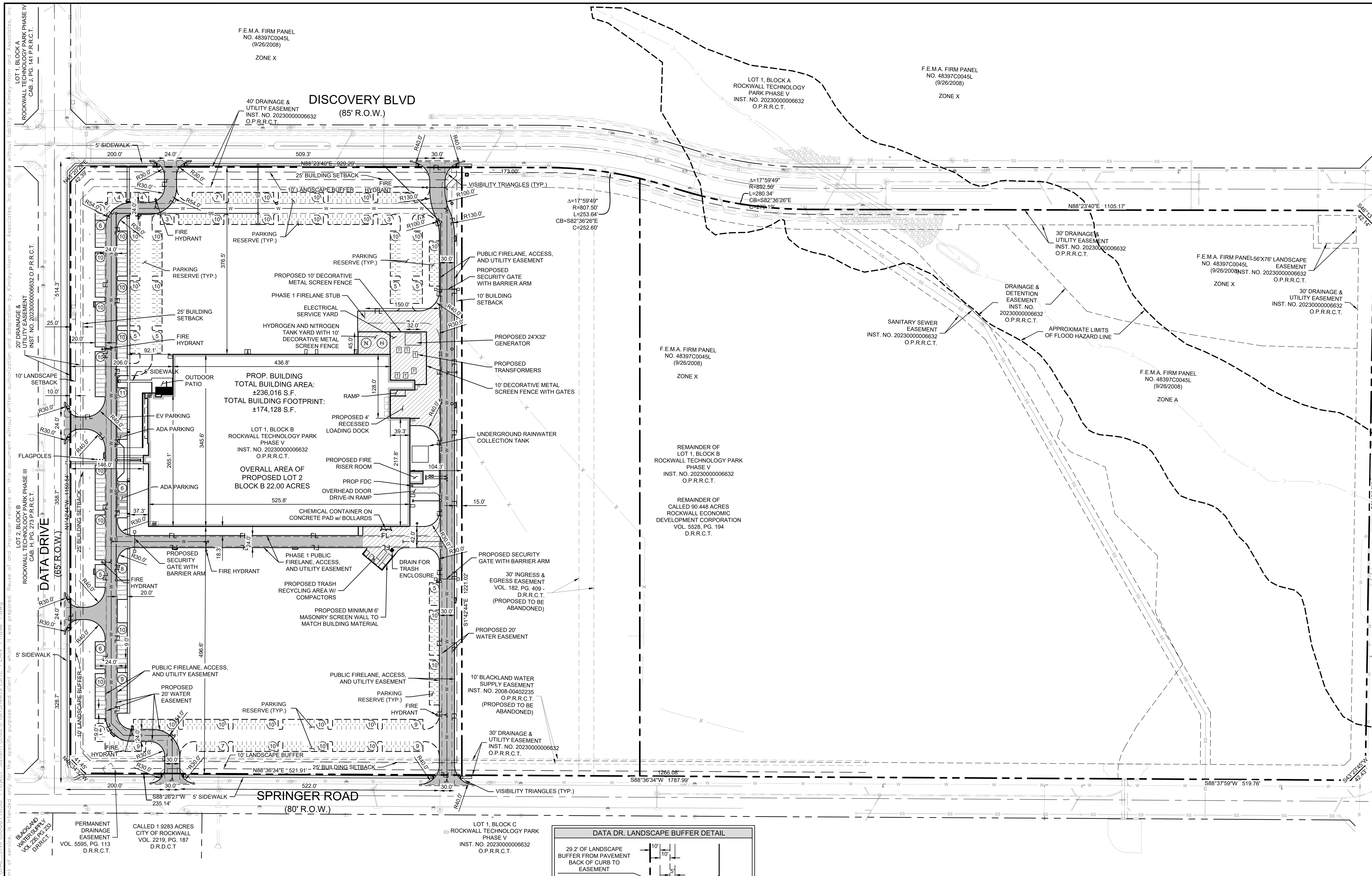
LAURA PEREZ
Notary Public
State of Texas
ID # 12537175-6
My Comm. Expires 07-25-2025

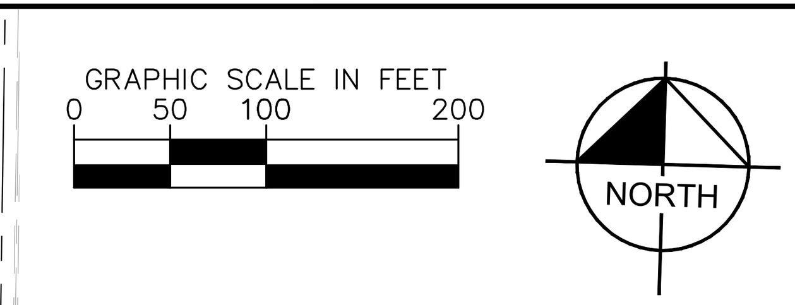
MY COMMISSION EXPIRES

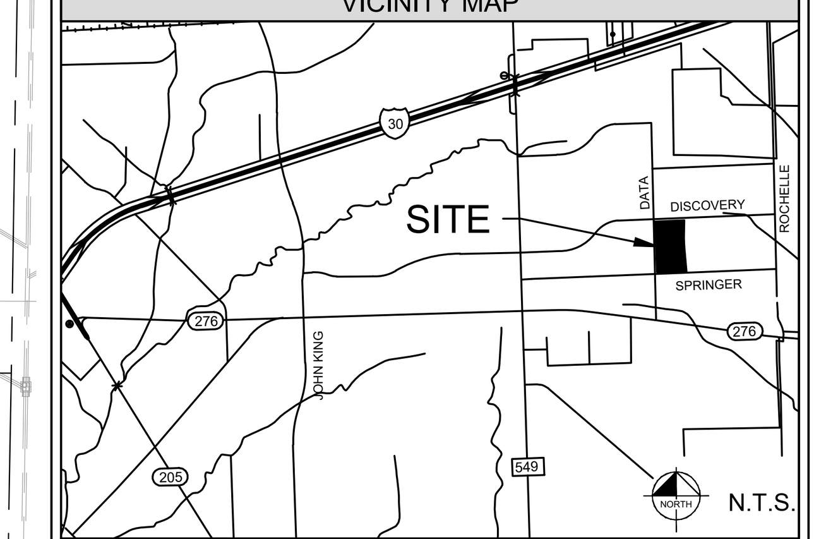


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com







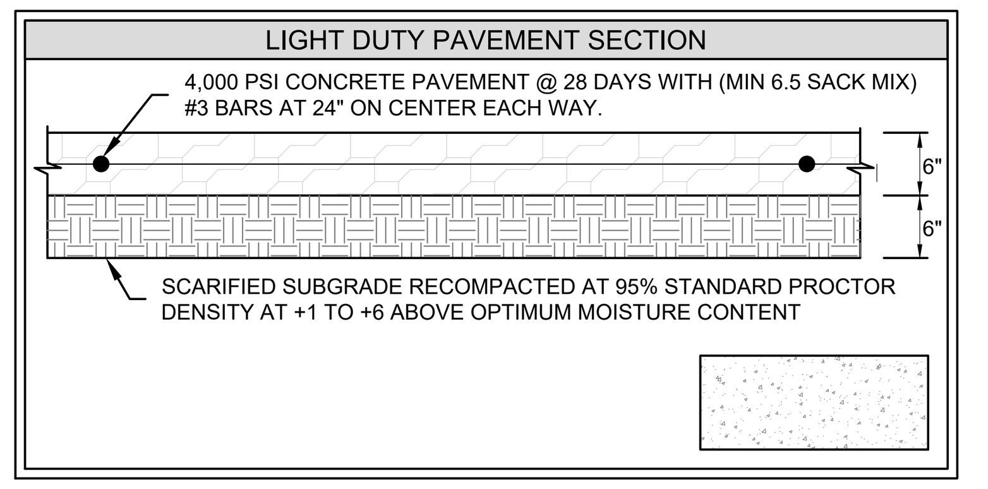
LEGEND

PROPERTY LINE	— — —
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
PROPOSED UNDERGROUND ELECTRIC LINE	UGE
EXISTING UNDERGROUND ELECTRIC LINE	UGE
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⋈
EXISTING WATER VALVE	⋈
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED WATER METER	
EXISTING WATER METER	
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	Ⓢ
EXISTING SANITARY SEWER MANHOLE	Ⓢ

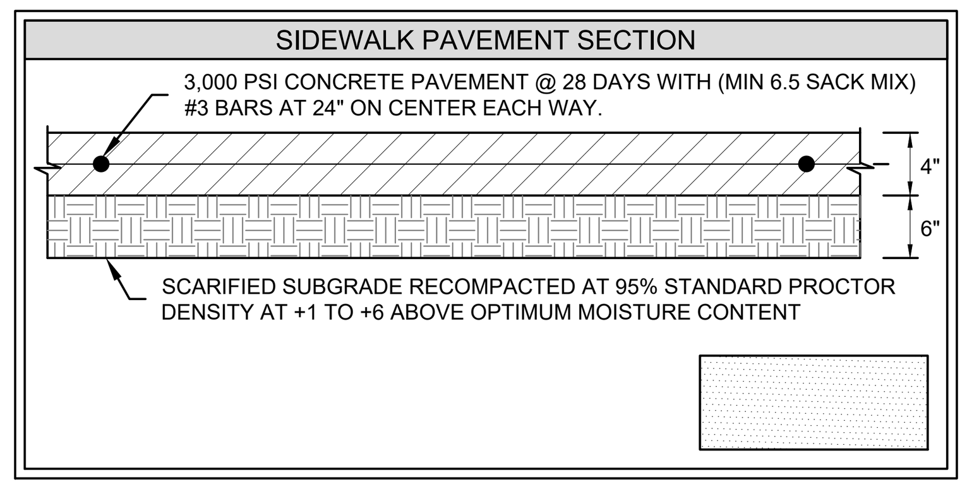
SITE SUMMARY TABLE

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

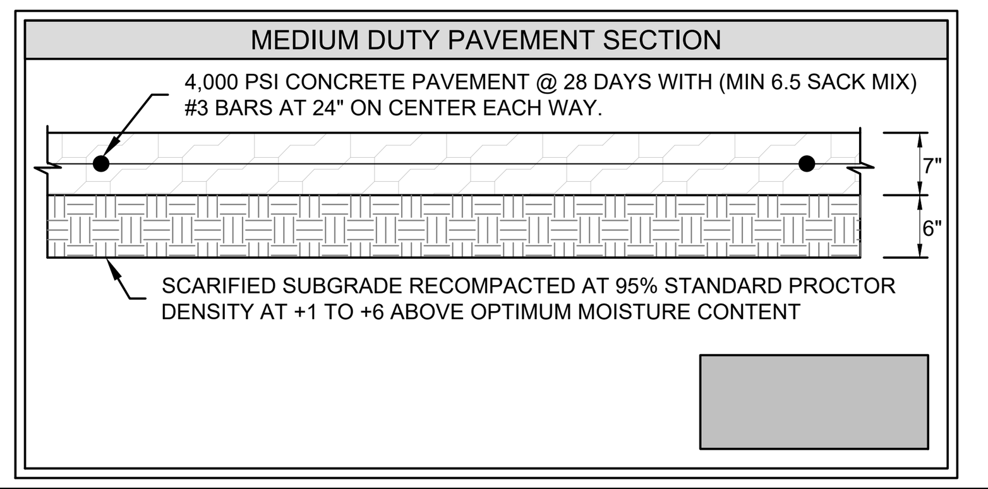
LIGHT DUTY PAVEMENT SECTION



SIDEWALK PAVEMENT SECTION



MEDIUM DUTY PAVEMENT SECTION



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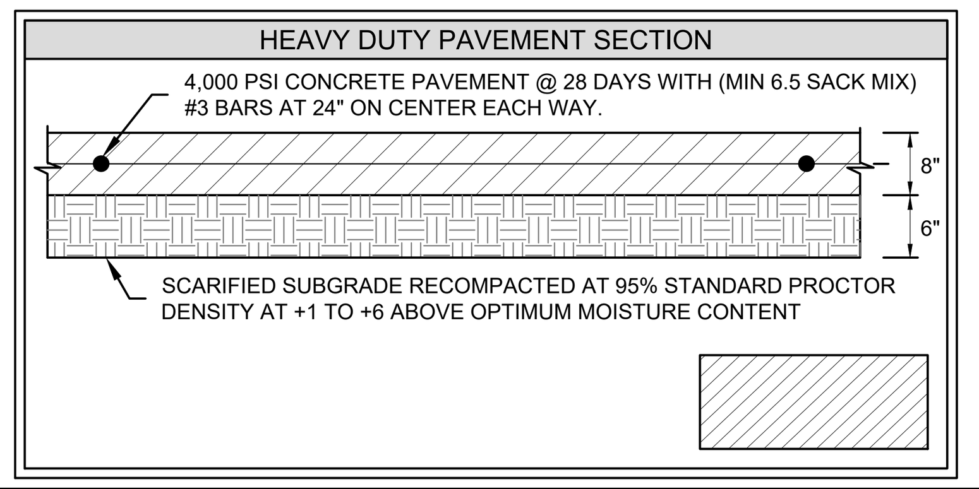
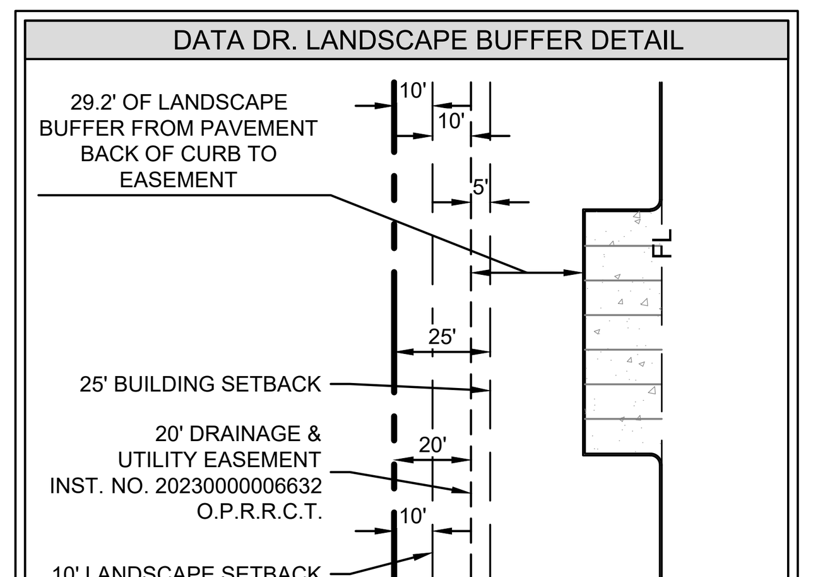


DATA DR. LANDSCAPE BUFFER DETAIL



PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 1 REQUIRED PARKING	**149 TOTAL SPACES (PER EMPLOYEE RATIO)*** 144 STANDARD SPACES 5 ADA SPACES
PHASE 1 PROVIDED PARKING	**151 TOTAL SPACES SPACES** 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
FUTURE PROVIDED PARKING	333 STANDARD SPACES

*NOTE: PER BUILDING SQUARE FOOTAGE A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION

NOTES

THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (541) 797-0521
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

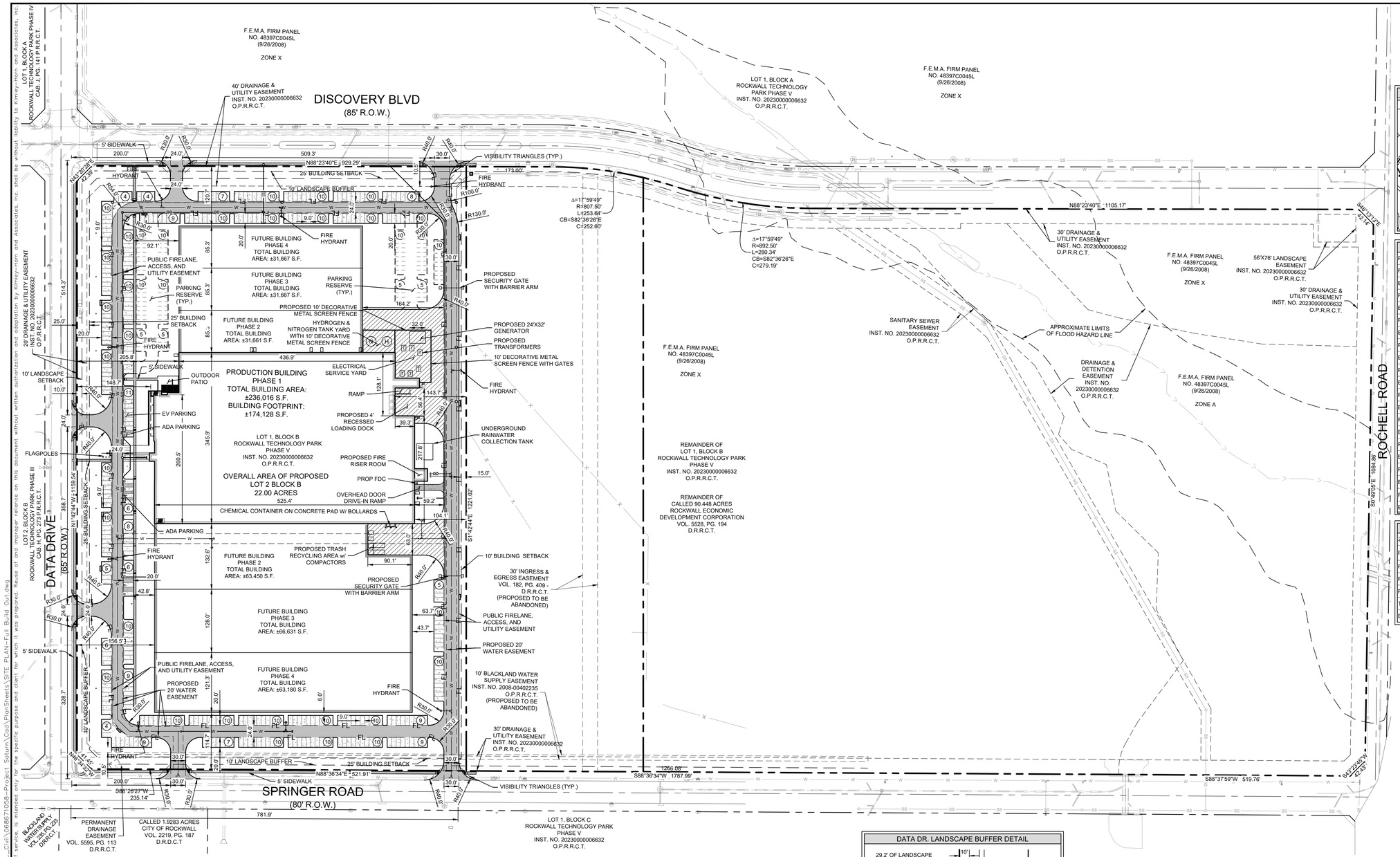
PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.
Kimley»Horn
Engineer NEDA M. HOSSEINY
P.E. No. 126707
Date 07/02/2024

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
068671058	07/02/2024	AS SHOWN	TAD	AKA	NMH

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SITE PLAN PHASE 1

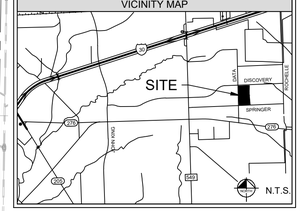
SHEET NUMBER
C-003



GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

VICINITY MAP



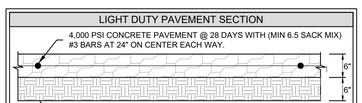
LEGEND

PROPERTY LINE	
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	
EXISTING STORM SEWER	
PROPOSED UNDERGROUND ELECTRIC LINE	UGE
EXISTING UNDERGROUND ELECTRIC LINE	UGE
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	
EXISTING WATER VALVE	
PROPOSED FIRE HYDRANT	
EXISTING FIRE HYDRANT	
PROPOSED WATER METER	
EXISTING WATER METER	
PROPOSED SANITARY SEWER CLEANOUT	
EXISTING SANITARY SEWER CLEANOUT	
PROPOSED SANITARY SEWER MANHOLE	S
EXISTING SANITARY SEWER MANHOLE	S

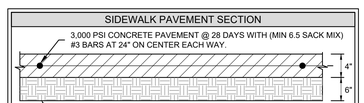
SITE SUMMARY TABLE

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

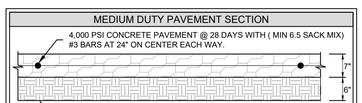
LIGHT DUTY PAVEMENT SECTION



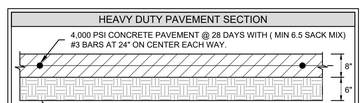
SIDEWALK PAVEMENT SECTION



MEDIUM DUTY PAVEMENT SECTION



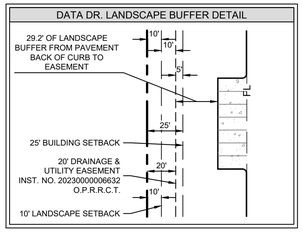
HEAVY DUTY PAVEMENT SECTION



PARKING DATA TABLE

PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES 1 SPACE PER 500 SF
PHASE 1 EMPLOYEE COUNT (TOTAL)	198
PHASE 2,3 AND 4 EMPLOYEE COUNT (TOTAL)	540
PHASE 1 REQUIRED PARKING	**149 TOTAL SPACES (PER EMPLOYEE RATIO)*** 144 STANDARD SPACES 5 ADA SPACES
PHASE 2,3 AND 4 REQUIRED PARKING	**405 TOTAL SPACES (PER EMPLOYEE RATIO)*** 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	**151 TOTAL SPACES SPACES** 135 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
PHASE 2,3 AND 4 PROVIDED PARKING	**416 TOTAL SPACES SPACES** 397 STANDARD SPACES 10 EV SPACES 9 ADA SPACES
*NOTE: PER BUILDING SQUARE FOOTAGE FOR PHASE 1 - A TOTAL OF 472 SPACES ARE REQUIRED. PLEASE REFER TO PARKING VARIANCE LETTER FOR ADDITIONAL INFORMATION	

DATA DR. LANDSCAPE BUFFER DETAIL



NOTES

THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN EXHIBIT
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (541) 797-0521
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

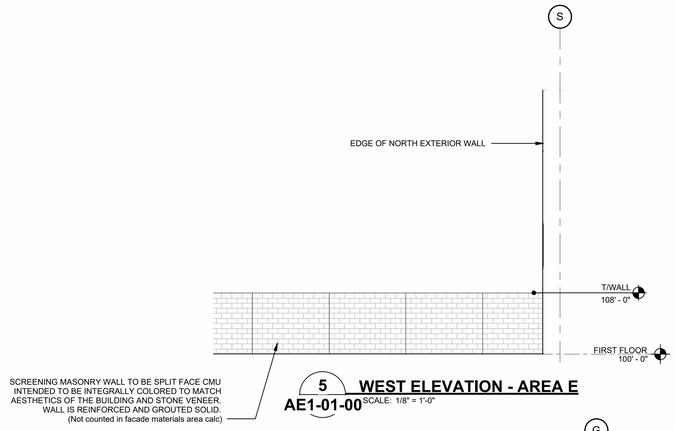
PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.
Kimley»Horn
Engineer NEDA M. HOSSEINY
P.E. No. 126707
Date 07/02/2024

KHA PROJECT 068671058
DATE 07/02/2024
SCALE AS SHOWN
DESIGNED BY TAD
DRAWN BY AKA
CHECKED BY NMH

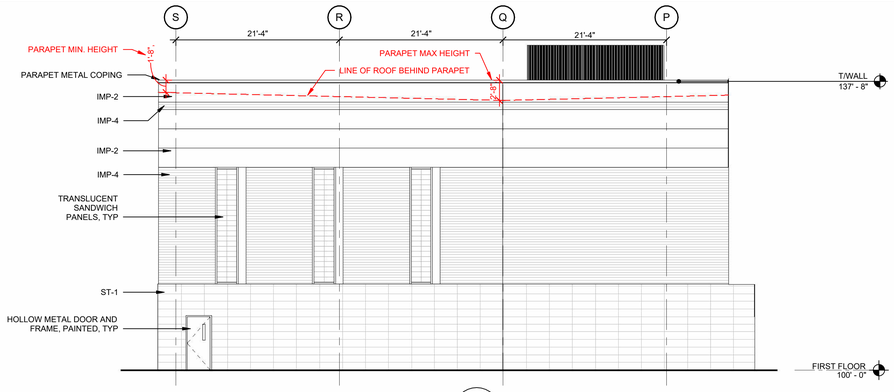
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SITE PLAN PHASE 2, 3, AND 4

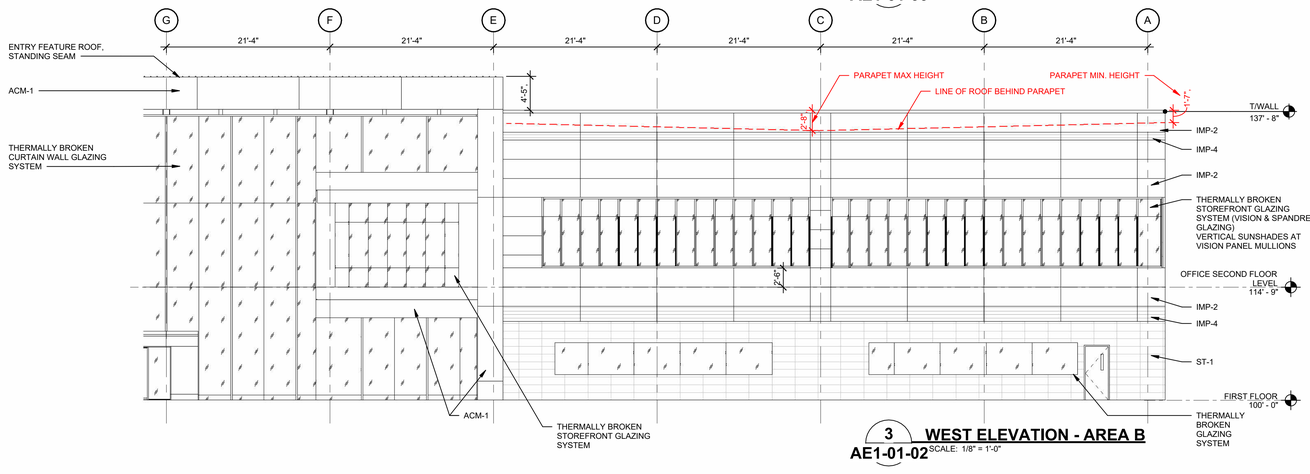
SHEET NUMBER
C-004



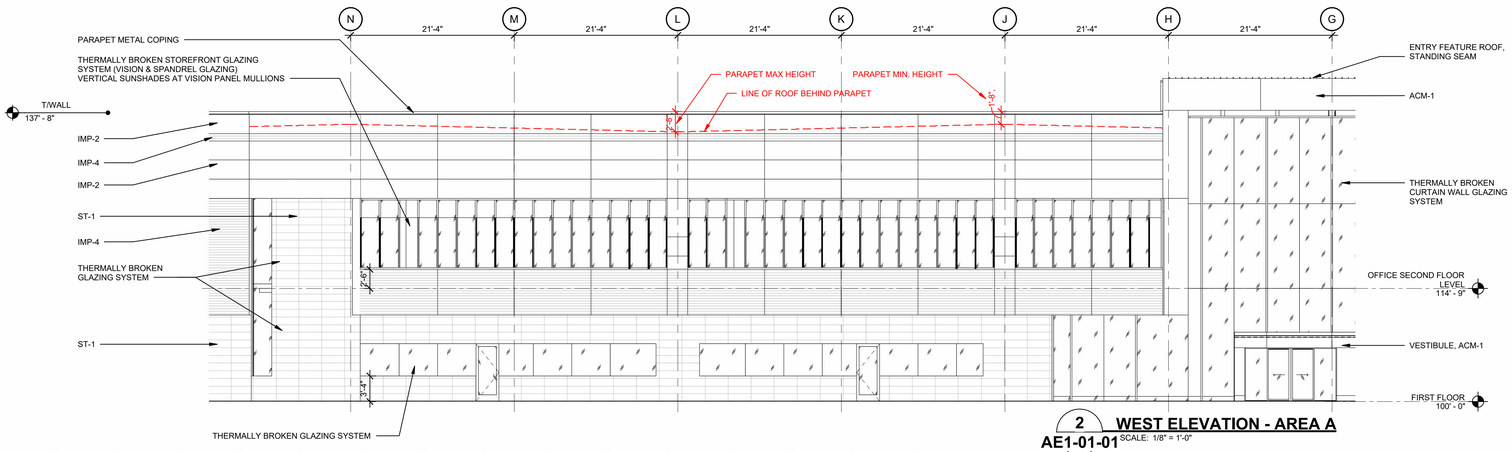
5 WEST ELEVATION - AREA E
AE1-01-00 SCALE: 1/8" = 1'-0"



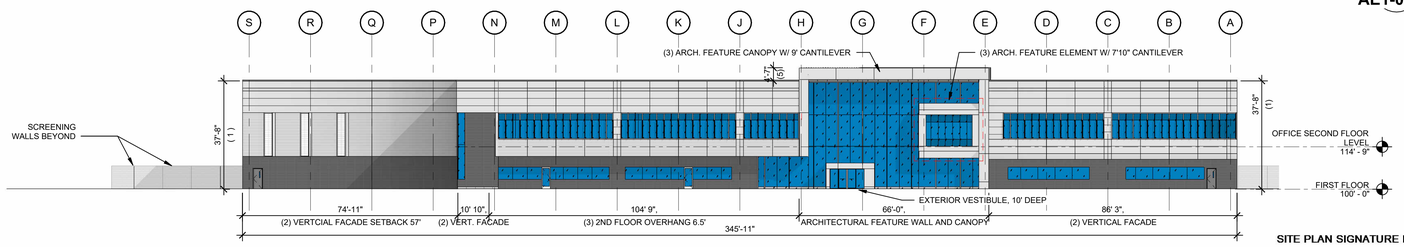
4 WEST ELEVATION - AREA C
AE1-01-00 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION - AREA B
AE1-01-02 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - AREA A
AE1-01-01 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION - COMPOSITE
AE1-01-00 SCALE: 3/64" = 1'-0"

GENERAL NOTES
1. ALL OPENING SHOWN FOR REFERENCE ONLY. SIZES AND LOCATIONS TO BE COORDINATED IN FIELD WITH TRADES
2. PARAPET COPING COLOR TO MATCH THE IMP PANEL COLOR IT IS COVERING
3. OVERFLOW DOWNSPOUT NOZZLES SHOULD NOT BE PLACED IN PANEL JOINTS

MATERIAL LEGEND
1. **IMP-1**: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, VERTICAL JOINT, R21
2. **IMP-2**: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, HORIZONTAL JOINT, R21
3. **IMP-3**: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, VERTICAL JOINT, R16
4. **IMP-4**: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, HORIZONTAL JOINT, R16
5. **IMP-5**: INSULATED METAL WALL PANEL, 42" WIDE, FLAT, VERTICAL JOINT, R21
6. **ST-1**: NATURAL STONE REINFORCED PANELS, PANEL SIZES TBD
7. **ACM-1**: ALUMINUM COMPOSITE PANELS

ROCKWALL, TX
MINIMUM STANDARDS FOR ARTICULATION**

PRIMARY FACADES

WEST (Data Dr.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 175'
3. WALL PROJECTION = ± 7'-10" - 9" (MULTIPLE NOTED)
4. ENTRY ELEMENT (L)) = ± 66'
5. PROJECTION HEIGHT = ± 4'-7"
6. ENTRY ELEMENT (W) = ± 45'

SECONDARY FACADES

NORTH (Discovery Blvd.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 437'
3. ARCH. ELEMENT (L) = ± 35'
4. ARCH. ELEMENT (W) = ± 3'-2" - 7'-8" (2nd FLOOR OVERHANG)
5. PROJECTION HEIGHT = 14'-9" (2nd FLOOR)

EAST
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 217'-10"
3. ARCH. ELEMENT (L) = ± 126'
4. ARCH. ELEMENT (W) = ± 39'-6"
5. PROJECTION HEIGHT = N/A

SOUTH (Springer Rd.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ±525'-6"
3. ARCH. ELEMENT (L) = N/A
4. ARCH. ELEMENT (W) = N/A
5. PROJECTION HEIGHT = N/A

**PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED DIMENSIONS.

FACADE SURFACE & MATERIALS AREA*

WEST
TOTAL AREA = ± 8,700 SF
IMP/ACM = 6,200 SF | 71%
STONE = 2,500 SF | 29%

NORTH
TOTAL AREA = ± 19,300 SF
IMP = 18,000 SF | 93%
STONE = 1,300 SF | 7%

EAST
TOTAL AREA = ± 12,900 SF
IMP = 12,900 SF | 100%
STONE = N/A

SOUTH
TOTAL AREA = ±18,340 SF
IMP = 18,000 SF | 98%
STONE = 340 SF | 2%

*PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED AREAS.

**PARAPETS SURROUND THE BUILDING, AND THE BACK SIDE IS NOT VISIBLE TO THE PUBLIC. ROOFING MEMBRANE WILL BE BROUGHT UP THE BACK SIDE OF PARAPET AND TERMINATE UNDER COPING. IF BACK OF PARAPET IS BECOMES VISIBLE IT WILL BE FINISHED TO MATCH INSULATED METAL PANEL COLOR.

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONTACT: PHIL WAGNER

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WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

BALLARD™
BALLARD POWER SYSTEMS, INC.
9000 GLENLYON PARKWAY
BURNABY, BC V5J 5J8
P: 604-454-0900
WWW.BALLARD.COM

PROJECT SATURN
Rockwall Technology Park, Rockwall, TX 75302

GHAFARI
17101 MICHIGAN AVENUE
DEARBORN, MI 48126-2736 USA
TEL +1.313.441.3000
www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

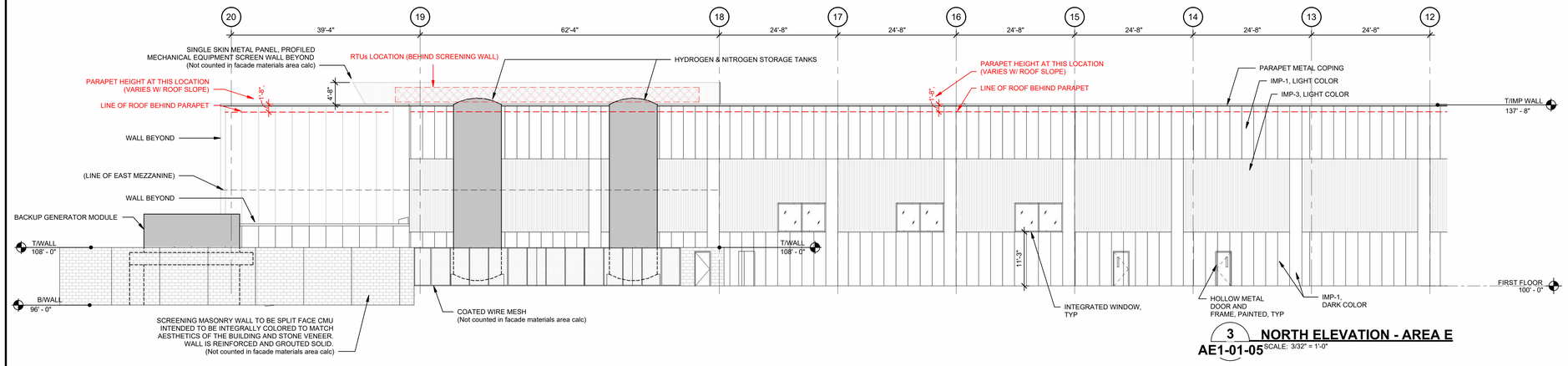
REV	DATE	DOC REL ## - DESCRIPTION
	06/19/24	DOC REL 02 - SD

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

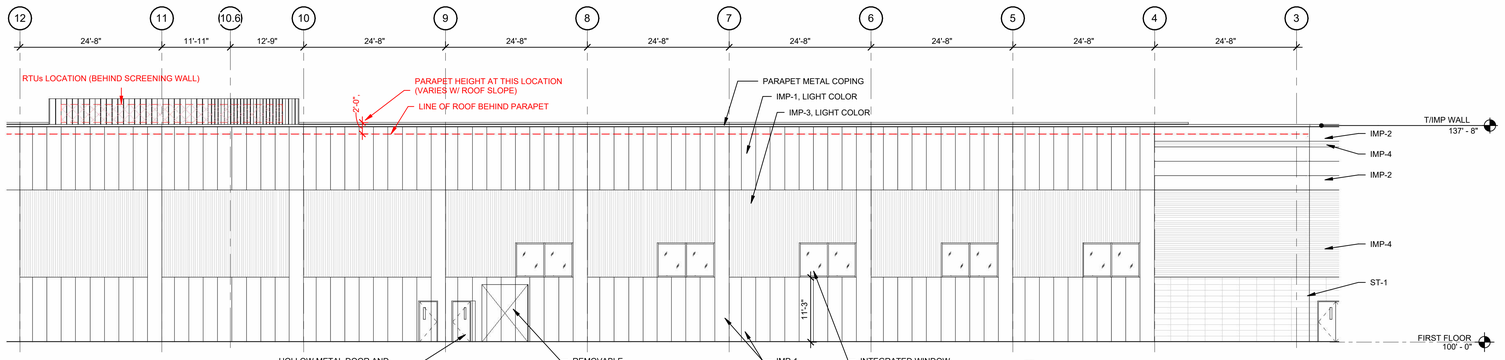
SHEET TITLE
ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-01
SHEET NUMBER

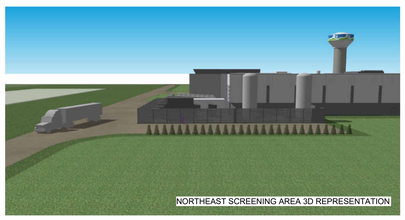
73-2-1



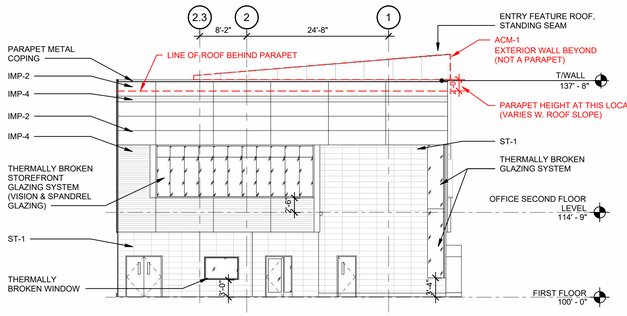
3 NORTH ELEVATION - AREA E
AE1-01-05 SCALE: 3/32" = 1'-0"



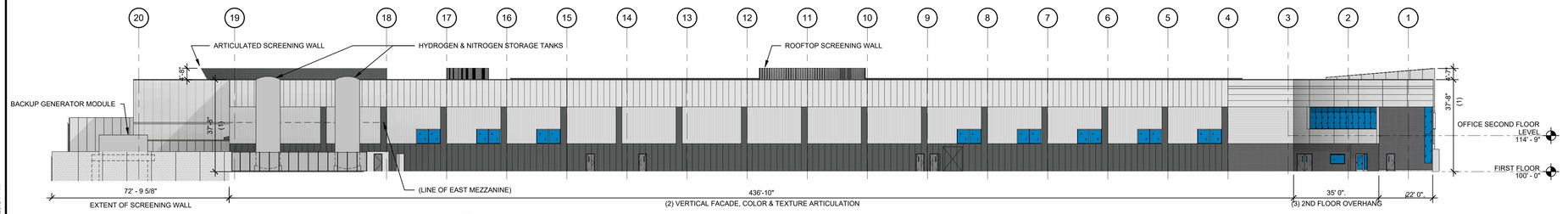
2 NORTH ELEVATION - AREA C
AE1-01-03 SCALE: 3/32" = 1'-0"


NORTHEAST SCREENING AREA 3D REPRESENTATION


SCREENING FENCE EXAMPLE



4 NORTH ELEVATION - AREA A
AE1-01-00 SCALE: 3/32" = 1'-0"



(NOTE: RETAINING WALLS 18" OR TALLER TO BE FACED WITH STONE)

1 NORTH ELEVATION - COMPOSITE
AE1-01-00 SCALE: 3/64" = 1'-0"

GENERAL NOTES
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ROCKWALL, TX
MINIMUM STANDARDS FOR ARTICULATION**

PRIMARY FACADES

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2. WALL LENGTH [L] = ± 175'
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4. ENTRY ELEMENT (L)) = ± 66'
5. PROJECTION HEIGHT = ± 4'-7"
6. ENTRY ELEMENT (W) = ± 45'

SECONDARY FACADES

NORTH (Discovery Blvd.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 437'
3. ARCH. ELEMENT (L) = ± 35'
4. ARCH. ELEMENT (W) = ± 3'-2" - 7'-8" (2nd FLOOR OVERHANG)
5. PROJECTION HEIGHT = 14'-9" (2nd FLOOR)

EAST
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 217'-10"
3. ARCH. ELEMENT (L) = ± 128'
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5. PROJECTION HEIGHT = N/A

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1. WALL HEIGHT [H] = ± 37'-8"
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5. PROJECTION HEIGHT = N/A

**PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED DIMENSIONS.

FACADE SURFACE & MATERIALS AREA*

WEST
TOTAL AREA = ± 8,700 SF

IMP/ACM = 6,200 SF | 71%
STONE = 2,500 SF | 29%

NORTH
TOTAL AREA = ± 19,300 SF

IMP = 18,000 SF | 93%
STONE = 1,300 SF | 7%

EAST
TOTAL AREA = ± 12,900 SF

IMP = 12,900 SF | 100%
STONE = N/A

SOUTH
TOTAL AREA = ±18,340 SF

IMP = 18,000 SF | 98%
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SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
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www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

REV	DATE	DOC REL ## - DESCRIPTION
	06/19/24	DOC REL 02 - SD

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

SHEET TITLE

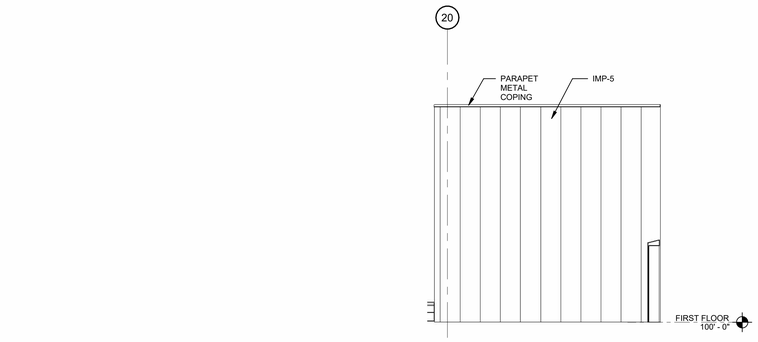
ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-02
SHEET NUMBER

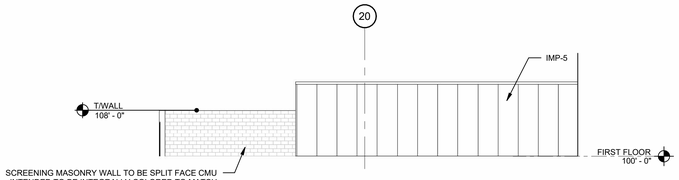
DISCLAIMER: THIS DRAWING IS TO BE PRINTED IN COLOR. IF THIS TEXT DOES NOT APPEAR IN COLOR, ANY USE OF THIS DRAWING IS AT THE SOLE RISK AND LIABILITY OF THE USER WHO RETAINS THE RESPONSIBILITY OF MEETING THE PROJECT REQUIREMENTS.

7/3/2024 4:29:31 PM

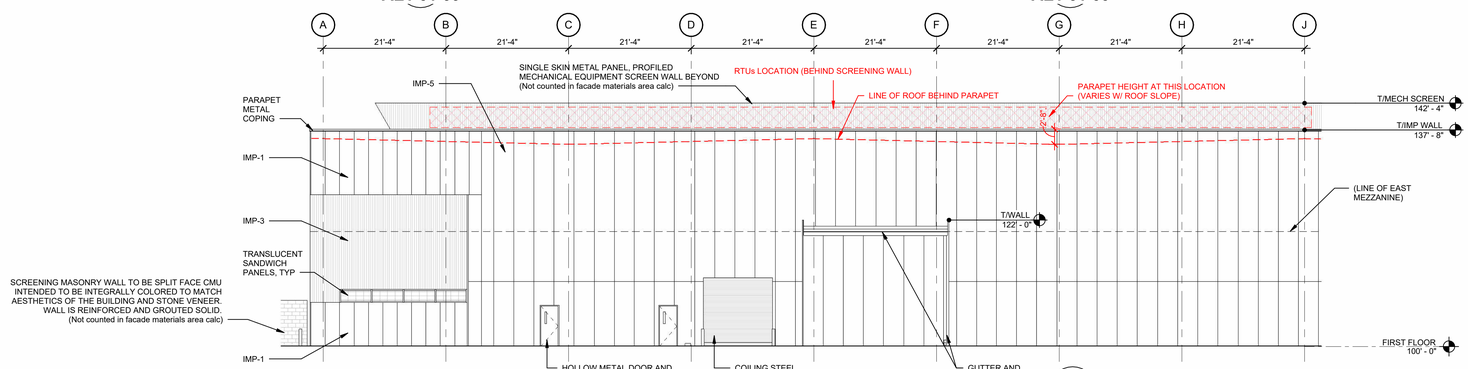
73-2-1



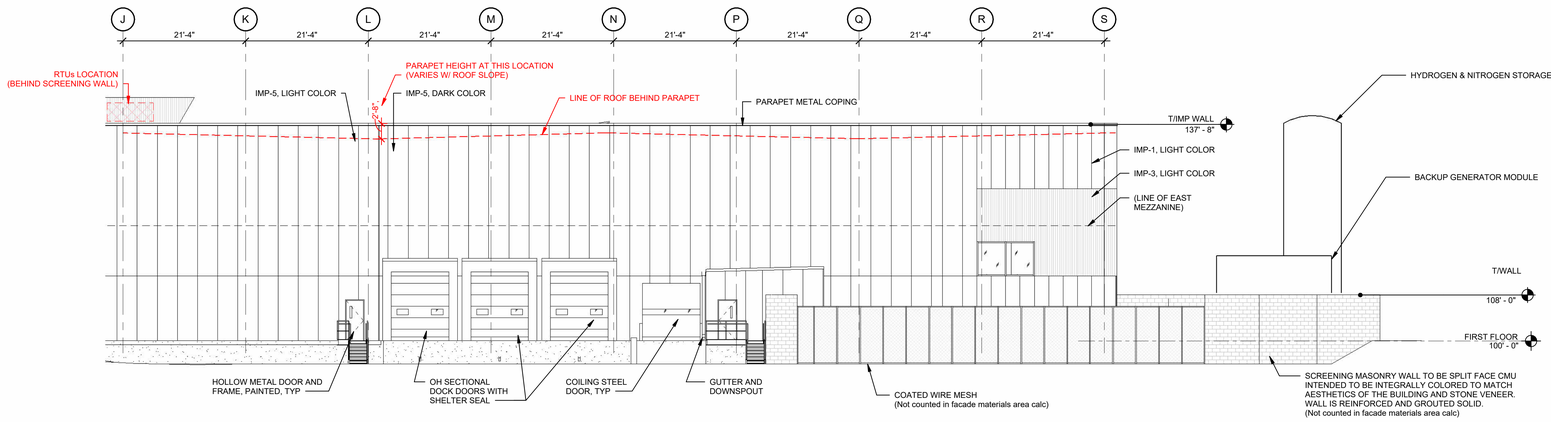
5 EAST ELEVATION - AREA E
AE1-01-00 SCALE: 3/32" = 1'-0"



4 EAST ELEVATION - AREA E
AE1-01-00 SCALE: 3/32" = 1'-0"

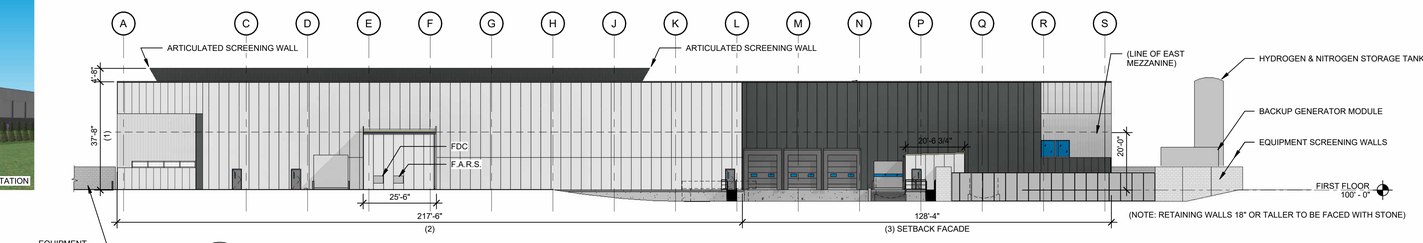


3 EAST ELEVATION - AREA F
AE1-01-06 SCALE: 3/32" = 1'-0"



2 EAST ELEVATION - AREA E
AE1-01-05 SCALE: 3/32" = 1'-0"


NORTHEAST SCREENING AREA 3D REPRESENTATION



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TOTAL AREA = ± 12,900 SF

IMP = 12,900 SF | 100%
STONE = N/A

SOUTH
TOTAL AREA = ±18,340 SF

IMP = 18,000 SF | 98%
STONE = 340 SF | 2%

*PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED AREAS.

**PARAPETS SURROUND THE BUILDING, AND THE BACK SIDE IS NOT VISIBLE TO THE PUBLIC. ROOFING MEMBRANE WILL BE BROUGHT UP THE BACK SIDE OF PARAPET AND TERMINATE UNDER COPING. IF BACK OF PARAPET IS BECOMES VISIBLE IT WILL BE FINISHED TO MATCH INSULATED METAL PANEL COLOR.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

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WWW.BALLARD.COM

PROJECT SATURN
Rockwall Technology Park, Rockwall, TX 75302

GHAFARI
17101 MICHIGAN AVENUE
DEARBORN, MI 48126-2736 USA
TEL +1.313.441.3000
www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

REV	DATE	DOC REL ## - DESCRIPTION
	06/19/24	DOC REL 02 - SD

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

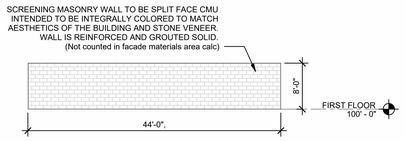
SHEET TITLE

ARCHITECTURAL BUILDING ELEVATIONS

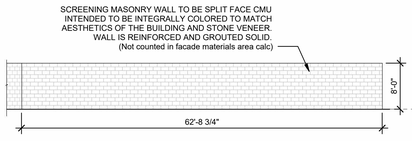
AE2-00-03
SHEET NUMBER

7/3/2024 4:29:37 PM

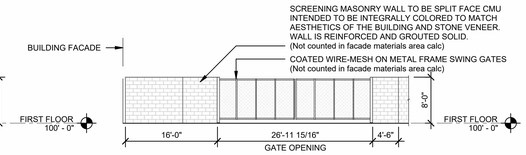
73-2-1



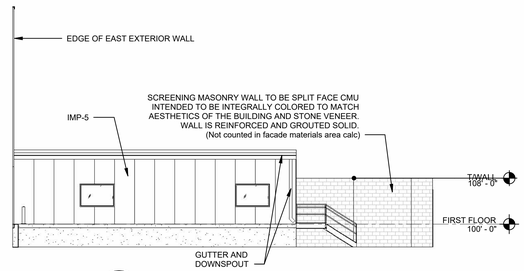
7 SOUTHEAST ELEVATION - AREA F
AE1-01-00 SCALE: 3/32" = 1'-0"



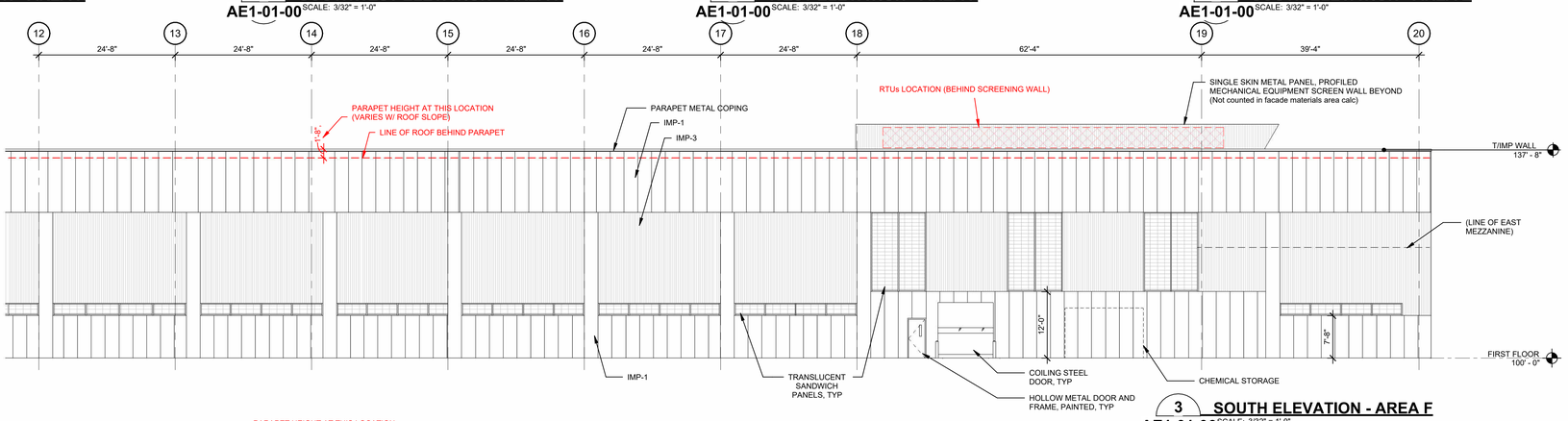
6 SOUTHWEST ELEVATION - AREA F
AE1-01-00 SCALE: 3/32" = 1'-0"



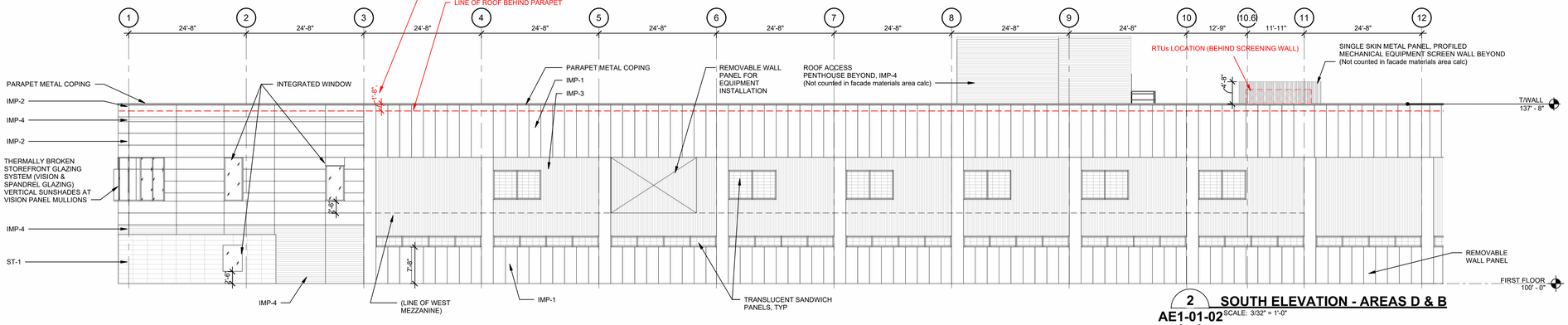
5 WEST ELEVATION - AREA F
AE1-01-00 SCALE: 3/32" = 1'-0"



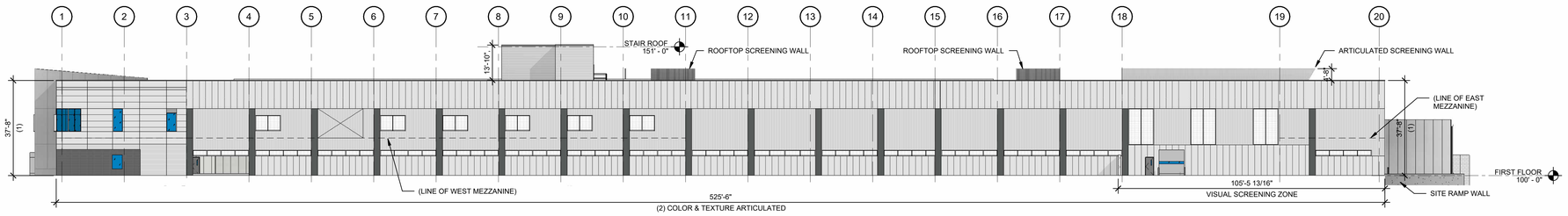
4 SOUTH ELEVATION - AREA E
AE1-01-00 SCALE: 3/32" = 1'-0"



3 SOUTH ELEVATION - AREA F
AE1-01-06 SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION - AREAS D & B
AE1-01-02 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION - COMPOSITE
AE1-01-00 SCALE: 3/64" = 1'-0"

GENERAL NOTES
1. ALL OPENING SHOWN FOR REFERENCE ONLY. SIZES AND LOCATIONS TO BE COORDINATED IN FIELD WITH TRADES
2. PARAPET COPING COLOR TO MATCH THE IMP PANEL COLOR IT IS COVERING
3. OVERFLOW DOWNSPOUT NOZZLES SHOULD NOT BE PLACED IN PANEL JOINTS

MATERIAL LEGEND
1. **IMP-1**: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, VERTICAL JOINT, R21
2. **IMP-2**: INSULATED METAL WALL PANEL, 30" WIDE, FLAT, HORIZONTAL JOINT, R21
3. **IMP-3**: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, VERTICAL JOINT, R16
4. **IMP-4**: INSULATED METAL WALL PANEL, 12" WIDE, PROFILED, HORIZONTAL JOINT, R16
5. **IMP-5**: INSULATED METAL WALL PANEL, 42" WIDE, FLAT, VERTICAL JOINT, R21
6. **ST-1**: NATURAL STONE REINFORCED PANELS, PANEL SIZES TBD
7. **ACM-1**: ALUMINUM COMPOSITE PANELS

ROCKWALL, TX
MINIMUM STANDARDS FOR ARTICULATION**

PRIMARY FACADES

WEST (Data Dr.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 175'
3. WALL PROJECTION = ± 7'-10" - 9" (MULTIPLE NOTED)
4. ENTRY ELEMENT (L)) = ± 66'
5. PROJECTION HEIGHT = ± 4'-7"
6. ENTRY ELEMENT (W) = ± 45'

SECONDARY FACADES

NORTH (Discovery Blvd.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 437'
3. ARCH. ELEMENT (L) = ± 35'
4. ARCH. ELEMENT (W) = ± 3'-2" - 7'-8" (2nd FLOOR OVERHANG)
5. PROJECTION HEIGHT = 14'-9" (2nd FLOOR)

EAST
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ± 217'-10"
3. ARCH. ELEMENT (L) = ± 128'
4. ARCH. ELEMENT (W) = ± 39'-6"
5. PROJECTION HEIGHT = N/A

SOUTH (Springer Rd.)
1. WALL HEIGHT [H] = ± 37'-8"
2. WALL LENGTH [L] = ±525'-6"
3. ARCH. ELEMENT (L) = N/A
4. ARCH. ELEMENT (W) = N/A
5. PROJECTION HEIGHT = N/A

**PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED DIMENSIONS.

FACADE SURFACE & MATERIALS AREA*

WEST
TOTAL AREA = ± 8,700 SF
IMP/ACM = 6,200 SF | 71%
STONE = 2,500 SF | 29%

NORTH
TOTAL AREA = ± 19,300 SF
IMP = 18,000 SF | 93%
STONE = 1,300 SF | 7%

EAST
TOTAL AREA = ± 12,900 SF
IMP = 12,900 SF | 100%
STONE = N/A

SOUTH
TOTAL AREA = ±18,340 SF
IMP = 18,000 SF | 98%
STONE = 340 SF | 2%

*PRELIMINARY DESIGN DOCUMENTS; APPROXIMATED AREAS.

**PARAPETS SURROUND THE BUILDING, AND THE BACK SIDE IS NOT VISIBLE TO THE PUBLIC. ROOFING MEMBRANE WILL BE BROUGHT UP THE BACK SIDE OF PARAPET AND TERMINATE UNDER COPING. IF BACK OF PARAPET IS BECOMES VISIBLE IT WILL BE FINISHED TO MATCH INSULATED METAL PANEL COLOR.

SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

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DEARBORN, MI 48126-2736 USA
TEL +1.313.441.3000
www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

REV	DATE	DOC REL ## - DESCRIPTION
	06/19/24	DOC REL 02 - SD

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

SHEET TITLE

ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-04
SHEET NUMBER

7/3/2024 4:29:49 PM

73-2-1

West Facade

Materials & Systems

Ballard Color Palette

SITE PLAN SIGNATURE BLOCK

APPROVED:
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PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONSULTANT INFORMATION

REGISTRATION SEAL

REV	DATE	DOC REL ## - DESCRIPTION

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

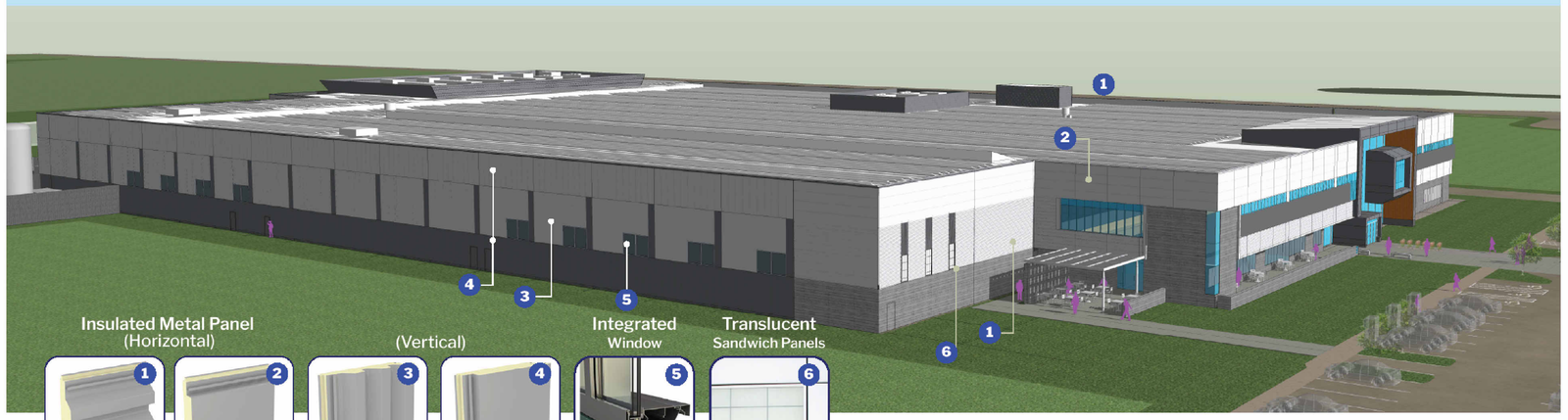
SHEET TITLE

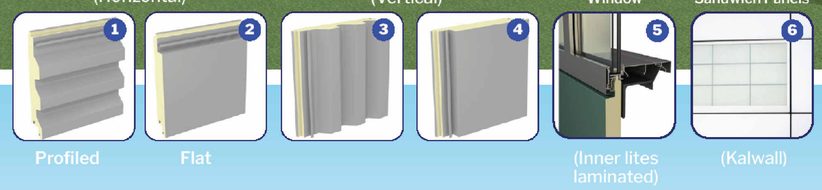
ARCHITECTURAL 3D REPRESENTATIONS

AE9-00-91
SHEET NUMBER

 7/3/2024 4:29:52 PM

Northwest





Southwest

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-2024-031
SUBMITTED JULY 2, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
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CONTACT: NEDA HOSSEINY, P.E.

OWNER:
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CONTACT: LEE SWEETLAND

DEVELOPER:
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DEARBORN, MI 48126-2736 USA
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www.ghafari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

REV	DATE	DOC REL ## - DESCRIPTION

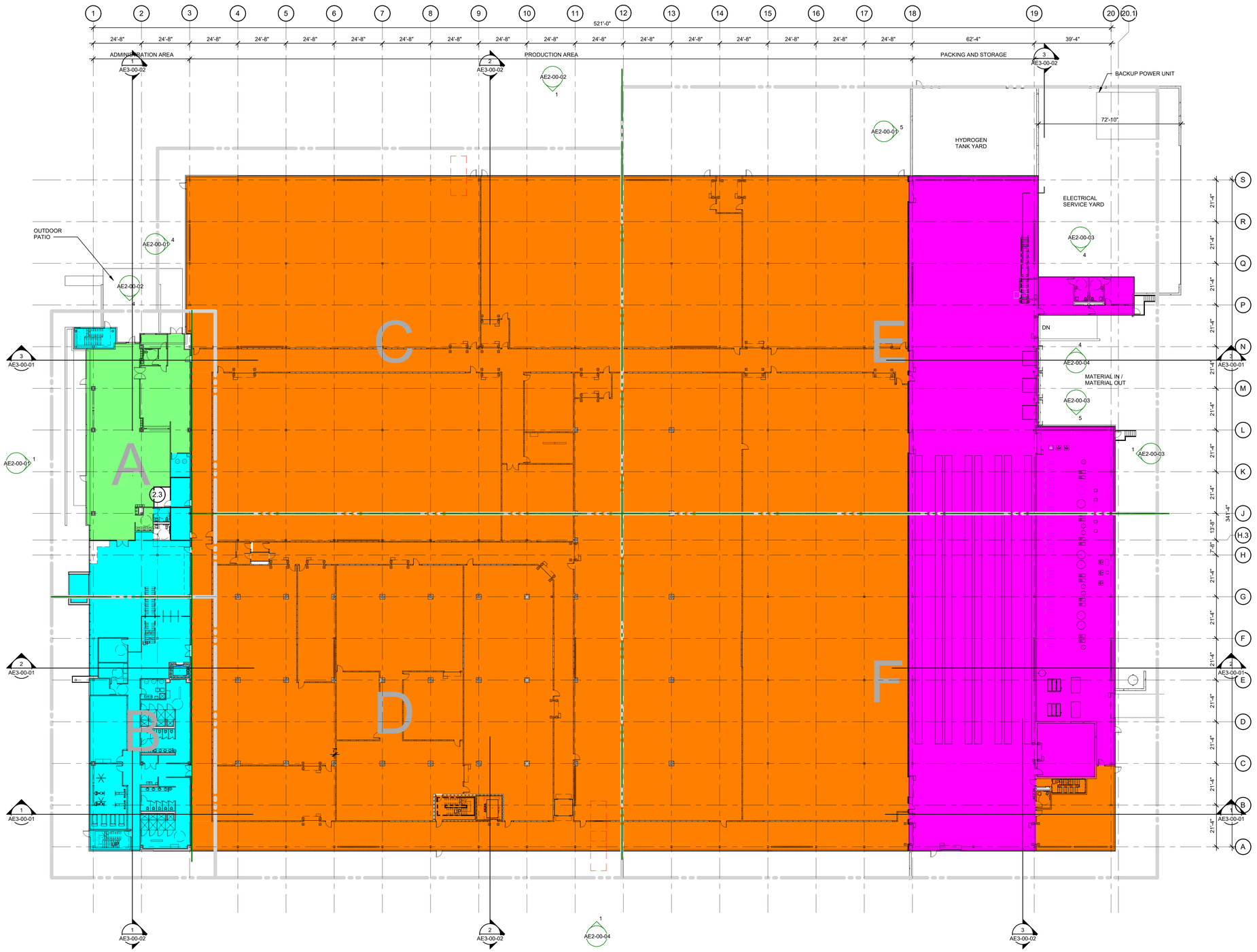
PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

SHEET TITLE

ARCHITECTURAL 3D REPRESENTATIONS

AE9-00-92
SHEET NUMBER

73-9-1



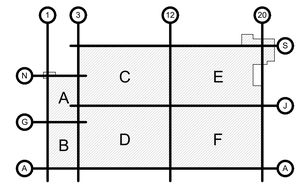
USE GROUP LEGEND

- A - ASSEMBLY
- B - BUSINESS
- F - FACTORY AND INDUSTRIAL
- S - STORAGE

ARCHITECTURAL FIRST FLOOR PLAN COMPOSITE

SCALE: 3/64" = 1'-0"

NORTH



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CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

REV	DATE	DOC REL ## - DESCRIPTION

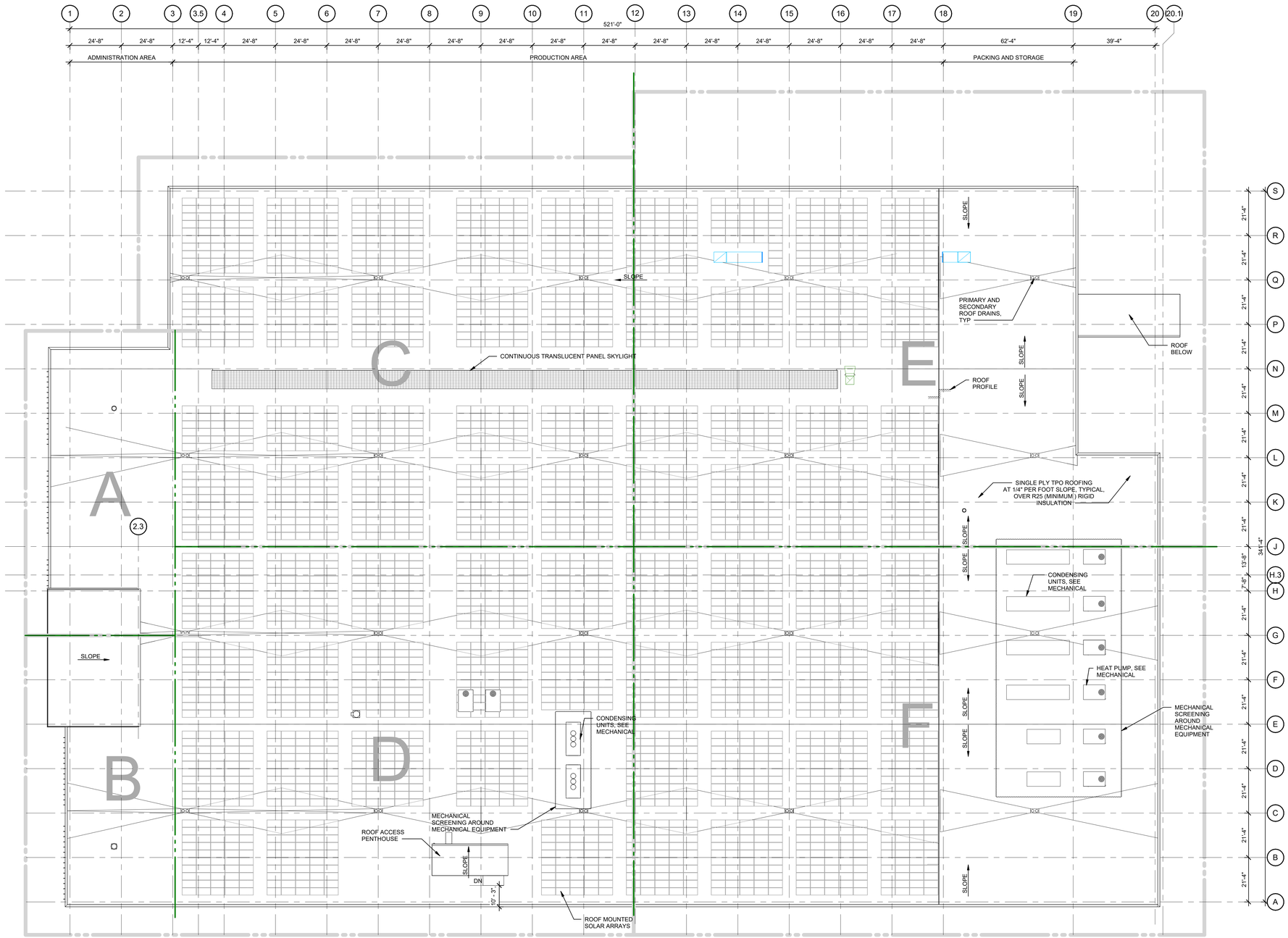
PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

SHEET TITLE

ARCHITECTURAL PLAN FIRST FLOOR COMPOSITE

AE1-01-00
SHEET NUMBER

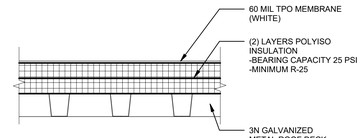
6/13/2024 10:00:39 PM



ARCHITECTURAL COMPOSITE ROOF PLAN
SCALE: 3/64" = 1'-0"

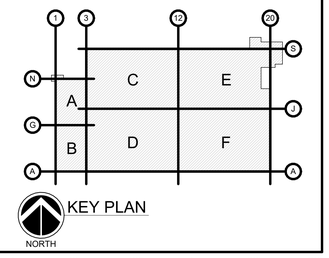
NORTH

ROOF ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
ASH	AIR SUPPLY HOUSE
DS	DOWNSPOUT
EF	EXHAUST FAN
EFP	EXHAUST FAN PROCESS
EJ	EXPANSION JOINT
HP	HIGH POINT
LP	LOW POINT
ORD	OVERFLOW ROOF DRAIN
RD	ROOF DRAIN
SRD	SIPHONIC ROOF DRAIN



TYPICAL ROOFING DETAIL
SCALE: 1 1/2" = 1'-0"

ROOF PLAN GENERAL NOTES
1. ROOF WALKWAY PADS TO BE PROVIDED TO EACH AHU, EF, AND ROOF ACCESS STAIRS



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CONSULTANT INFORMATION

REGISTRATION SEAL

NOT FOR CONSTRUCTION

REV	DATE	DOC REL ## - DESCRIPTION

PROJECT #	2400033
PROJECT MANAGER	B. JILBERT
DESIGNED BY	J. TESTA
DRAWN BY	J. JACKSON
QUALCHECK	R. BARRY

SHEET TITLE

ARCHITECTURAL PLAN ROOF COMPOSITE

AE1-R1-00
SHEET NUMBER

73-1-10

6/13/2024 10:28:41 PM

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
14. ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
15. TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT
16. CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
17. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

1. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
2. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
3. ALL PLANTING AREAS TO BE FULLY IRRIGATED.
4. IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
5. IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
6. ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST THE OWNER.
7. IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
4. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
5. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
6. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
7. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
9. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

LANDSCAPE CALCULATIONS CHART:

Project Saturn - Rockwall, TX
Code Calculations Chart

Site Data	AC	SF
Total Site Area	22.00	958,318
Impervious Site Area		350,946

Site Landscape Area	Required (% / SF)	Provided (% / SF)
15% of site to be landscaped	15%	27%
	143,748	254,749

Street Frontage	Required	Provided
Discovery Boulevard (777.82 LF)		
1 Canopy Tree/ 50 LF	16	16
1 Accent Tree/ 50LF	16	16
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES
Data Drive (1201.46 LF)		
1 Canopy Tree/ 50 LF	24	24
1 Accent Tree/ 50LF	24	24
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES
Springer Road (777.48 LF)		
1 Canopy Tree/ 50LF	16	16
1 Accent Tree/ 50LF	16	16
Continuous row of shrubs and berming (min. 36" ht.)	YES	YES

Parking Lot	Required	Provided
1 Large Canopy Tree/ 10 parking spaces	#REF!	16
One tree within 80' of each parking space	YES	YES
Headlight Screening (min. 2' ht. berm with evergreen shrubs)	YES	YES

Detention Basin Screening	Required	Provided
1 native shrub or grass per 750 sf of pond	N/A	N/A
**No detention basins on site*		

SYMBOLS LEGEND:

GENERAL

- CENTER LINE
- LIMIT OF WORK (L.O.W.)
- MATCHLINE (MATCHLINE L2.XX / MATCHLINE L2.XX)
- GRADE BREAKLINE (BREAKLINE)
- EXPANSION JOINT (EJ)
- CONTROL JOINT
- POINT OF BEGINNING (P.O.B.)
- DETAIL NUMBER (X) / SHEET NUMBER (X.XX)
- DETAIL ENLARGEMENT REFERENCE
- MATERIAL REFERENCE (X-1)
- DETAIL REFERENCE (DETAIL NUMBER X / SHEET NUMBER X.XX)
- ELEVATION REFERENCE (X / LX.XX)
- SECTION REFERENCE (X / LX.XX)

PLANTING SCHEDULE:

SYMBOL	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
TREES						
	Bald Cypress / Taxodium distichum	4" cal	12`-14` ht		17	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Cedar Elm / Ulmus crassifolia	4" cal	12`-14` ht		20	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Eastern Redcedar / Juniperus virginiana	4" cal	12`-14` ht		7	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR AT SIDEWALKS
	Live Oak / Quercus virginana	4" cal	12`-14` ht		18	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
	Texas Red Oak / Quercus buckleyi	4" cal	12`-14` ht		25	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER
FLOWERING TREES						
	Mexican Buckeye / Ungnadia speciosa	45 gal	8`-10` ht		18	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Possumhaw Holly / Ilex decidua	45 Gal.	7`-8`		16	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
	Yaupon Holly / Ilex vomitoria	45 Gal.	8`-10`		20	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM
SHRUBS						
	Blue Grama / Bouteloua gracilis `Blonde Ambition`	3 gal	18" h X 18" w	24" OC	115	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Emerald Snow Loropetalum / Loropetalum chinense `Emerald Snow`	5 gal	18" h x 24" w	36" OC	258	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Glossy Abelia / Abelia x grandiflora	5 gal	24" h x 18" w	36" OC	223	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM	5 gal	24" h x 24" w	36" OC	209	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Nellie Stevens Holly / Ilex x `Nellie R Stevens`	15 gal	5` h X 2` w	60" OC	28	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Red Yucca / Hesperaloe parviflora	5 gal	18" h X 18" w	24" OC	53	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Whale`s Tongue Agave / Agave ovatifolia `Frosty Blue`	5 gal	18" h X 18" w	IN POTS	24	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
SYMBOL	**COMMON / BOTANICAL NAME**	**CONT.**	**SIZE**	**SPACING**	**QTY**	**REMARKS**
GROUND COVERS						
	Latitude 36 Bermuda Grass / Cynodon dactylon	sod			229,507 sf	REFER TO SPECIFICATIONS

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD, AND CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

TREE MITIGATION:

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	307.3	160.3
Total tree inches being removed - Feature - 2:1	0	0.0
Total tree inches being removed	307.3	160.3
Mitigation Inches		**160.3**
Proposed Tree Inches Per Planting Plan		**328**
NET TOTAL		**-167.7**

PROJECT SATURN - TREE MITIGATION CHART

CODE REQUIRED

COMMON NAME	SCIENTIFC NAME	QTY	CAL.	MITIGATION
Bald Cypress	*Taxodium distichum*	17	4	**68**
Cedar Elm	*Ulmus crassifolia*	20	4	**80**
Eastern Red Cedar	*Juniperus virginiana*	2	4	**8**
Live Oak	*Quercus virginiana*	18	4	**72**
Texas Red Oak	*Quercus buckleyi*	25	4	**100**
			TOTAL MITIGATION REQUIRED:	160.3
			TOTAL MITIGATION PROVIDED:	328.0
			TOTAL MITIGATION OUTSTANDING:	0.0

SITE DATA TABLE:

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT (PER SHIFT)	198
ULTIMATE EMPLOYEE COUNT (PER SHIFT)	540
PHASE 1 REQUIRED PARKING	**149 TOTAL SPACES** 144 STANDARD SPACES 5 ADA SPACES
ULTIMATE REQUIRED PARKING	**405 TOTAL SPACES** 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	**149 TOTAL SPACES SPACES** 133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
ULTIMATE PROVIDED PARKING	**405 TOTAL SPACES SPACES** 386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: (972) 770-1300 FAX: (972) 239-3820
WWW.KIMLEY-HORN.COM TX F-928

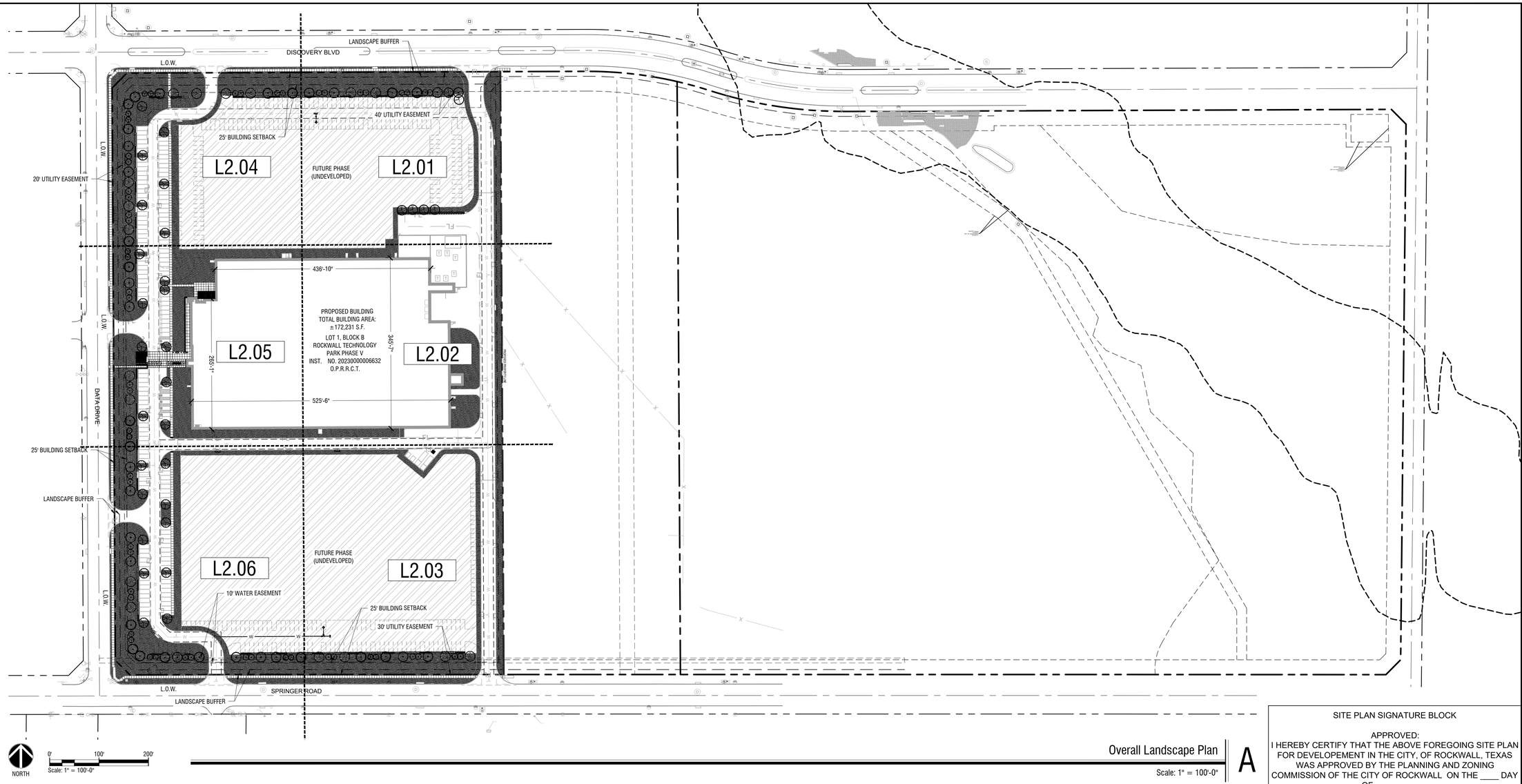
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. No. 2458 Paul D. Freeland Date 07.02.2024

KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE NOTES AND SITE CALCULATIONS

SHEET NUMBER
L1.01



Overall Landscape Plan

Scale: 1" = 100'-0"

A

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
14. ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
15. TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT
16. CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
17. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

1. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
2. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
3. ALL PLANTING AREAS TO BE FULLY IRRIGATED.
4. IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
5. IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
6. ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST THE OWNER.
7. IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
4. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
5. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
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7. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
9. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

NOTE: ALL RIGHTS-OF-WAY TO BE SODDED PRIOR TO ENGINEERING ACCEPTANCE AND CO.

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

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SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
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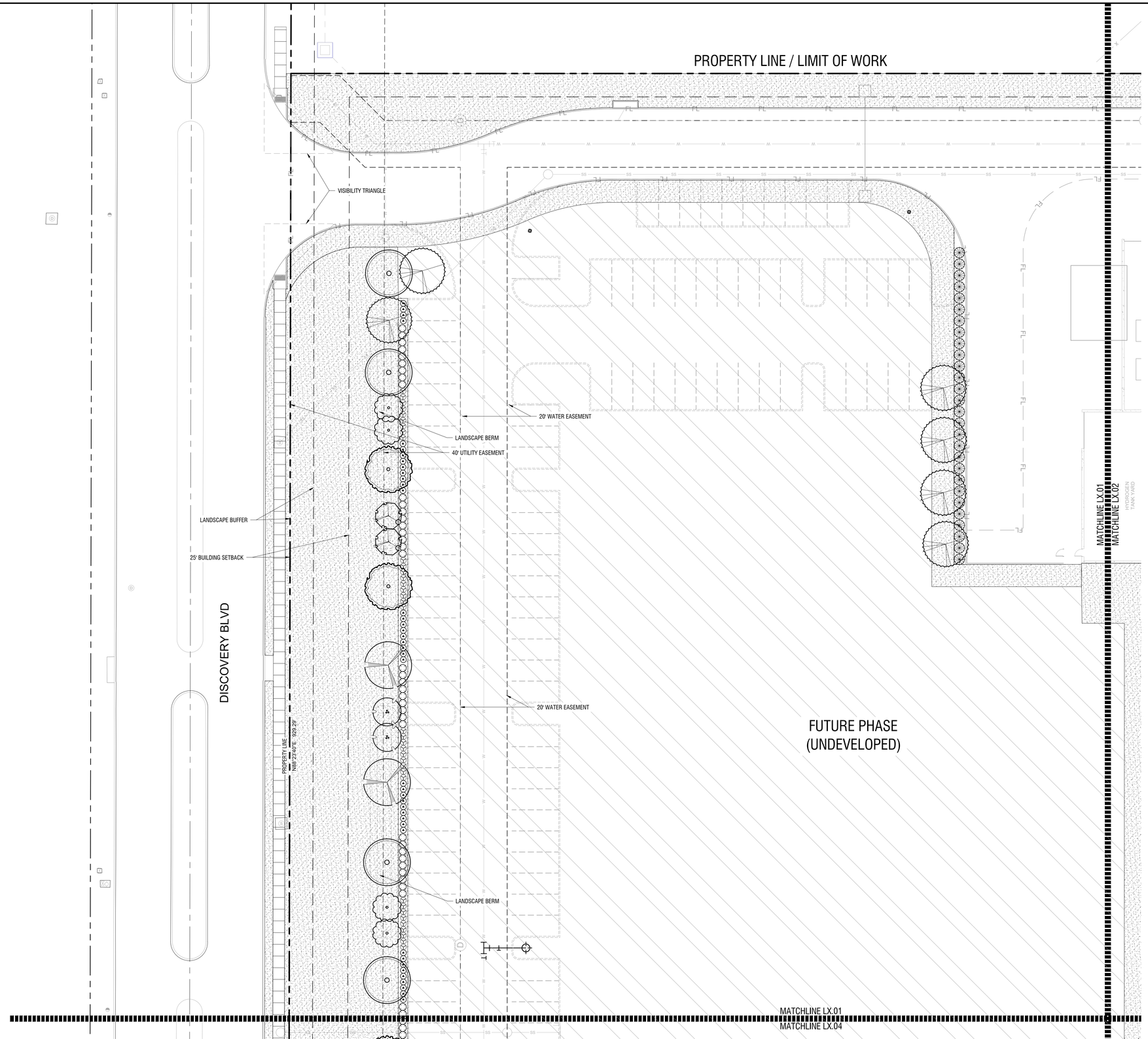
Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date 07.02.2024

KHA PROJECT 068671058
DATE JULY 2024
SCALE AS SHOWN
DESIGNED BY PDF
DRAWN BY NJF
CHECKED BY PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OVERALL LANDSCAPE PLAN

SHEET NUMBER
L1.02



NORTH

0' 20' 40'
Scale: 1" = 20'-0"

Landscape Plan
Scale: 1" = 20'-0"

A

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Blue Grama / Bouteloua gracilis `Blonde Ambition`
	Emerald Snow Loropetalum / Loropetalum chinense `Emerald Snow`
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM
	Nellie Stevens Holly / Ilex x `Nellie R Stevens`
	Red Yucca / Hesperaloe parviflora
	Whale`s Tongue Agave / Agave ovatifolia `Frosty Blue`
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

_____
PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

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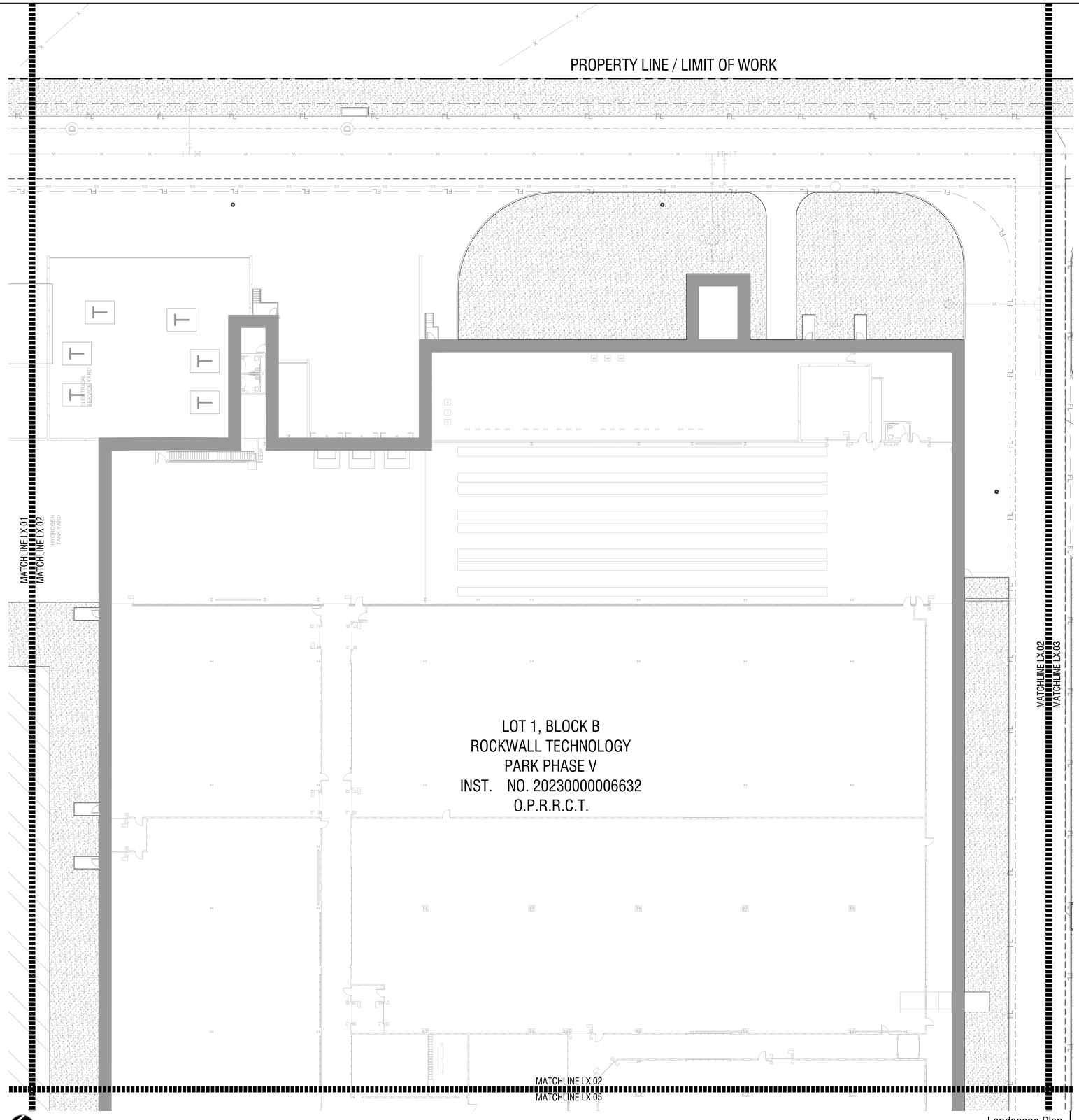
KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.01



Landscape Plan

Scale: 1" = 20'-0"

A

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
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SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date 07.02.2024

KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.02

PROPERTY LINE / LIMIT OF WORK

VISIBILITY TRIANGLE

FUTURE PHASE
(UNDEVELOPED)

S88°36'34"W 1767.59'
PROPERTY LINE

LANDSCAPE BERM
25' BUILDING SETBACK
LANDSCAPE BUFFER
30' UTILITY EASEMENT
10' WATER EASEMENT
LANDSCAPE BERM

SPRINGER ROAD

MATCHLINE LX.02
MATCHLINE LX.03

MATCHLINE LX.03
MATCHLINE LX.06

NORTH

0' 20' 40'
Scale: 1" = 20'-0"

Landscape Plan
Scale: 1" = 20'-0"

A

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Blue Grama / Bouteloua gracilis `Blonde Ambition`
	Emerald Snow Loropetalum / Loropetalum chinense `Emerald Snow`
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM
	Nellie Stevens Holly / Ilex x `Nellie R Stevens`
	Red Yucca / Hesperaloe parviflora
	Whale`s Tongue Agave / Agave ovatifolia `Frosty Blue`
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Latitude 36 Bermuda Grass / Cynodon dactylon

NOTE: PROPOSED LANDSCAPING, INCLUDING SHRUBS AND TREES, TO BE OUTSIDE OF UTILITY EASEMENTS. BERMS CAN BE LOCATED IN EASEMENT BUT OUTSIDE OF UTILITY LINE ITSELF.

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_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

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CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

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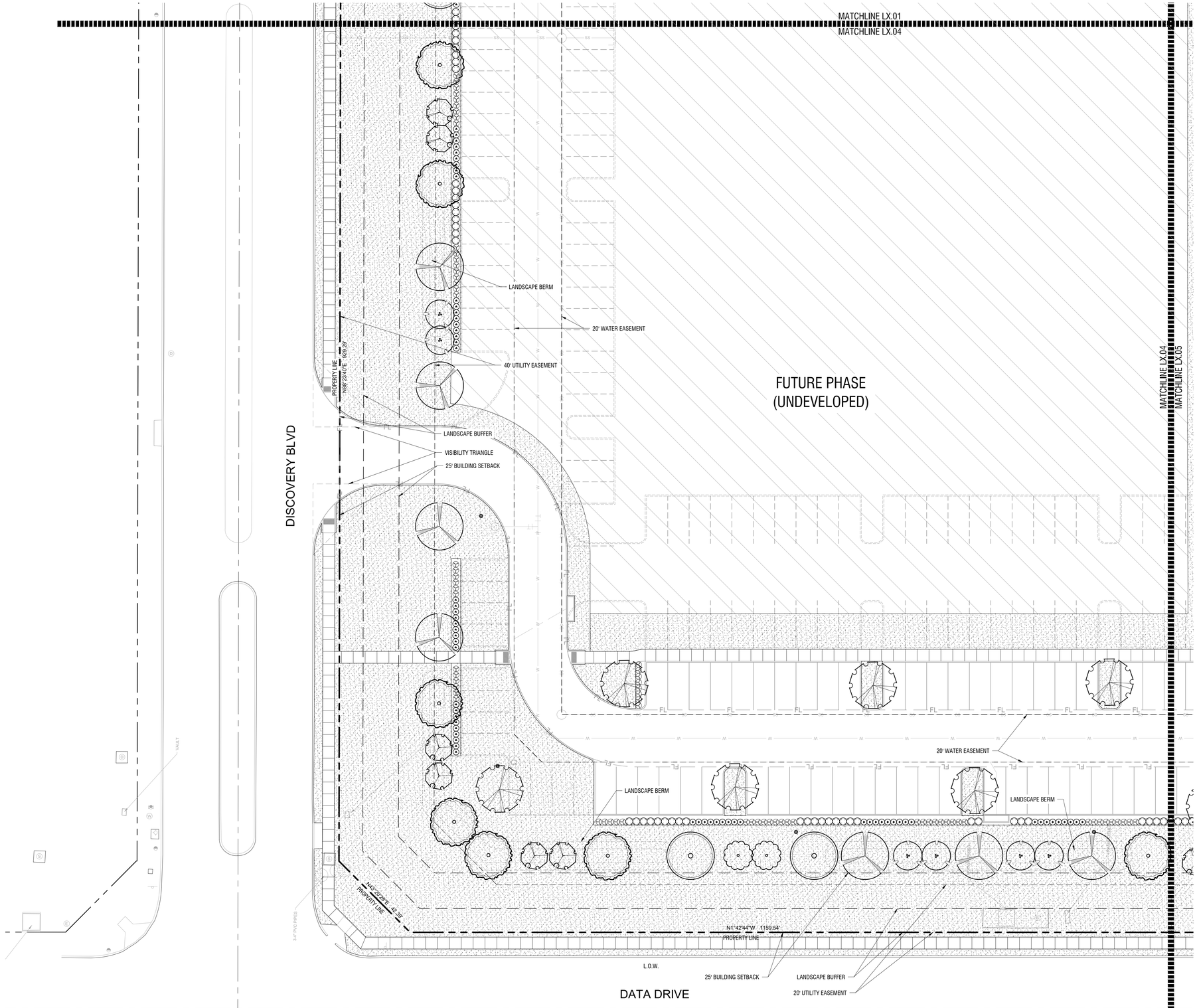
KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.03



PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Live Oak / Quercus virginana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Blue Grama / Bouteloua gracilis `Blonde Ambition`
	Emerald Snow Loropetalum / Loropetalum chinense `Emerald Snow`
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM
	Nellie Stevens Holly / Ilex x `Nellie R Stevens`
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	Whale`s Tongue Agave / Agave ovatifolia `Frosty Blue`

SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Latitude 36 Bermuda Grass / Cynodon dactylon

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SITE PLAN SIGNATURE BLOCK

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PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
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ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

NORTH
0' 20' 40'
Scale: 1" = 20'-0"

Landscape Plan
Scale: 1" = 20'-0"

A

No.	REVISIONS	DATE	BY

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L.A. No. 2458 Date 07.02.2024

KHA PROJECT	068671058
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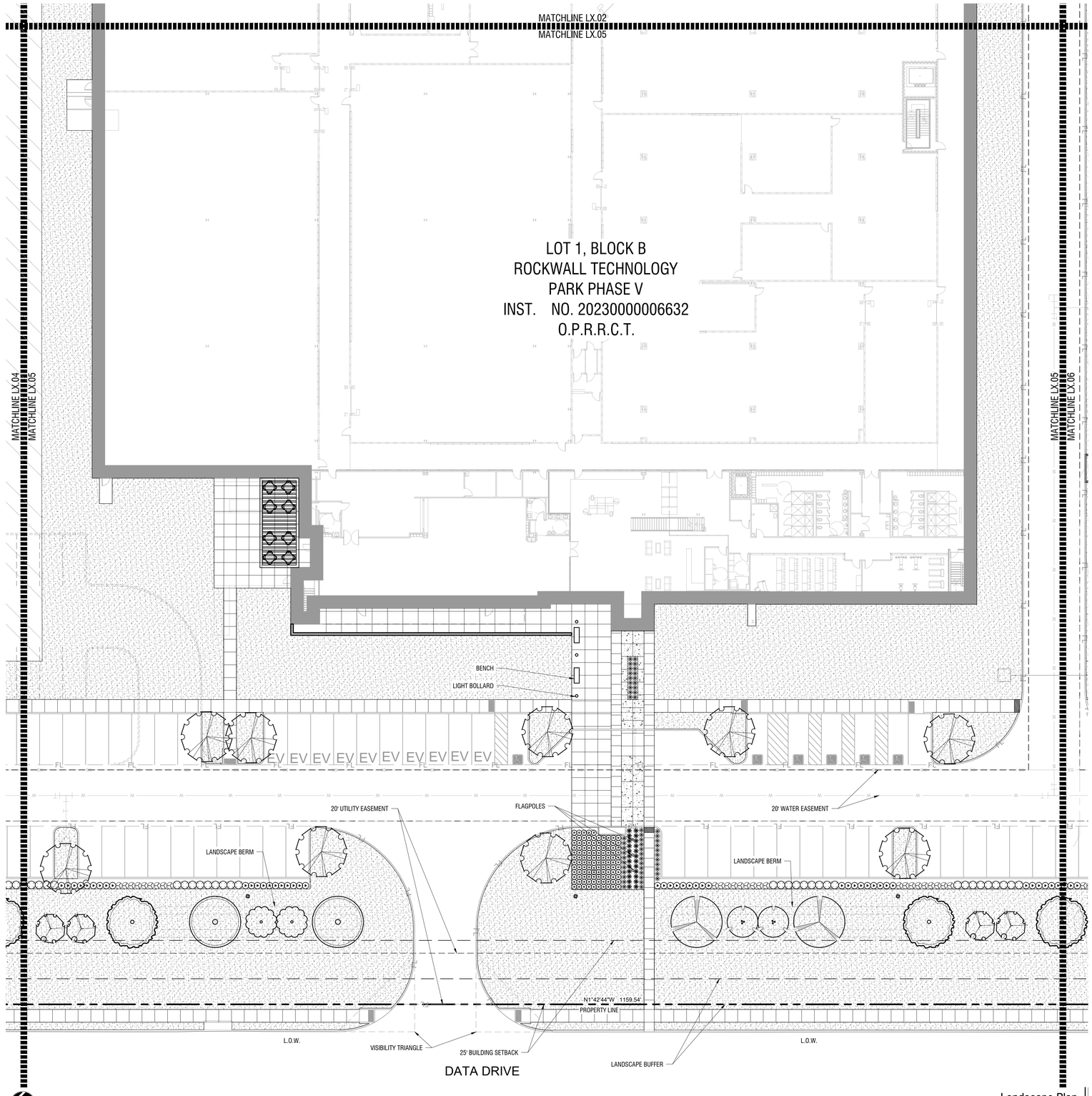
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.04



NORTH

0' 20' 40'

Scale: 1" = 20'-0"

Landscape Plan

Scale: 1" = 20'-0"

A

PLANT SCHEDULE

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FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Blue Grama / Bouteloua gracilis `Blonde Ambition`
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SYMBOL	COMMON / BOTANICAL NAME
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PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
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DALLAS, TEXAS 75240
PH (469) 301-2599
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DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

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Kimley»Horn
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WWW.KIMLEY-HORN.COM TX F-928

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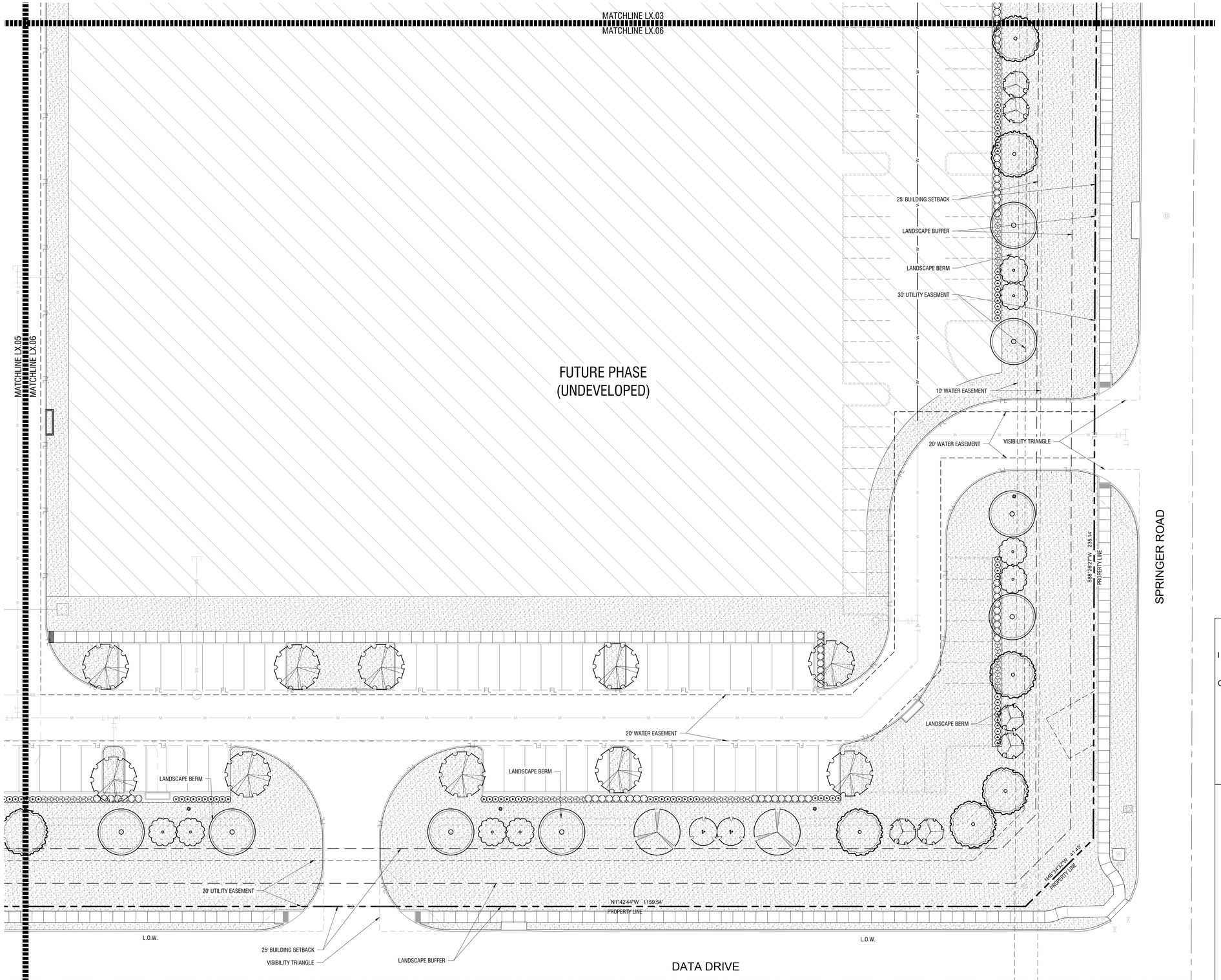
P.L.A. No. 2458 — Paul D. Freeland — Date: 07.02.2024

KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
L2.05



NORTH
0' 20' 40'
Scale: 1" = 20'-0"

Landscape Plan
Scale: 1" = 20'-0"

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PLANT SCHEDULE

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PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

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DEVELOPER:
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No.	REVISIONS	DATE	BY

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L.A. No. 2458 Date 07.02.2024

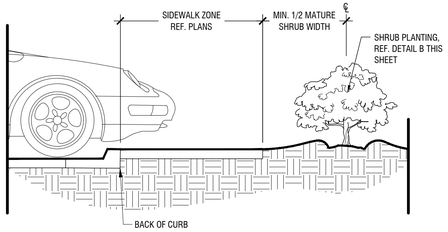
KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

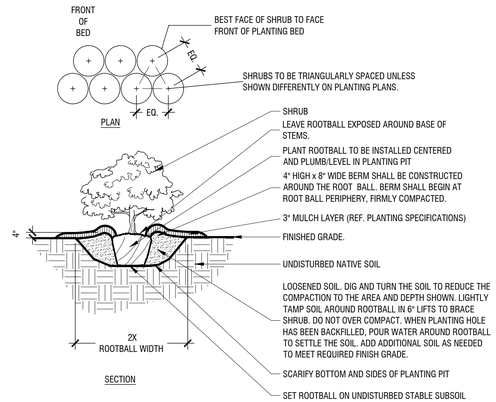
SHEET NUMBER
L2.06

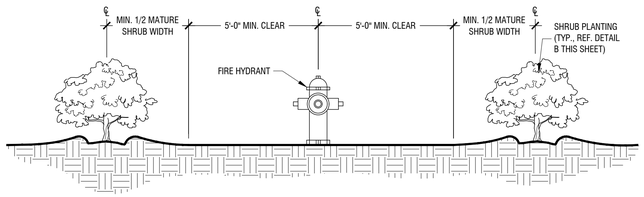
NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT
3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Sidewalk — F

Scale: NTS



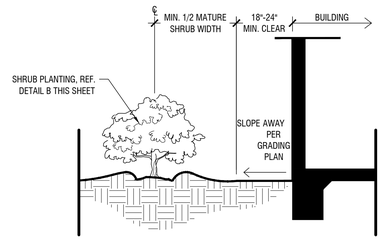


Shrub Planting at Fire Hydrant — E

Scale: NTS

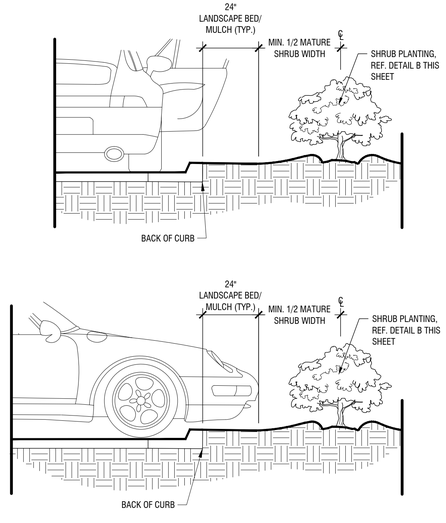
Typical Shrub Planting — B

Scale: NTS



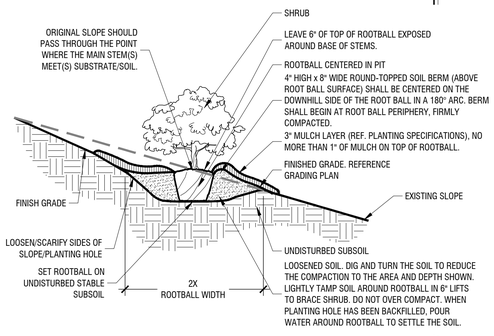
Shrub Planting at Building Edge — D

Scale: NTS



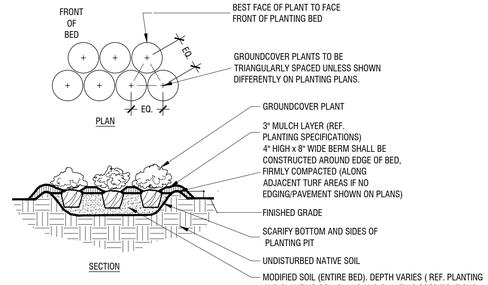
Shrub Planting at Curb — G

Scale: NTS



Shrub Planting On 5-50% (20:1 TO 2:1) Slope — C

Scale: NTS



Typical Groundcover Planting — A

Scale: NTS

SITE PLAN SIGNATURE BLOCK

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_____
PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
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DEVELOPER:
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PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

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L.A. No. 2458 Date 07.02.2024

KHA PROJECT	068671058
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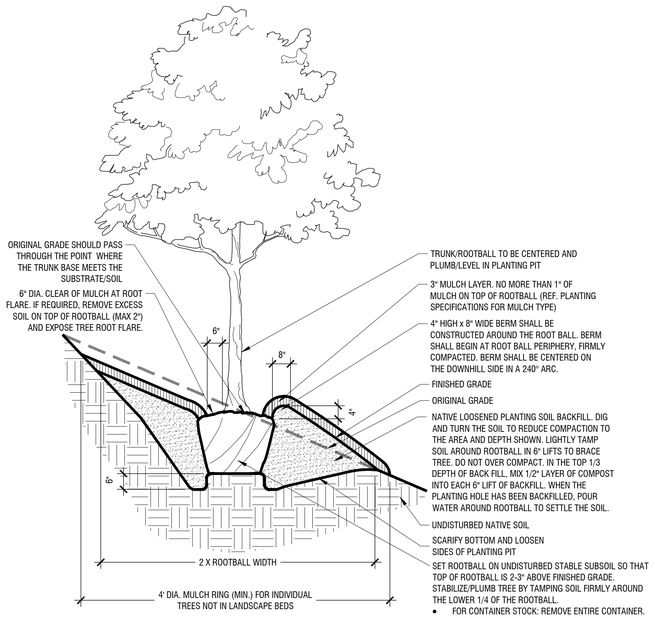
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

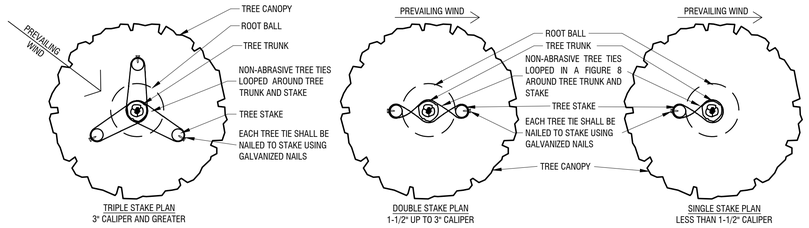
PLANTING DETAILS

SHEET NUMBER
L2.07

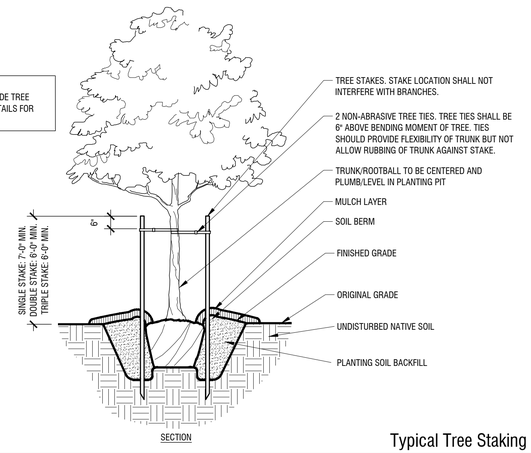


Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes) **D**

Scale: NTS



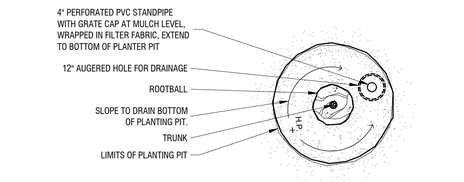
NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



SECTION

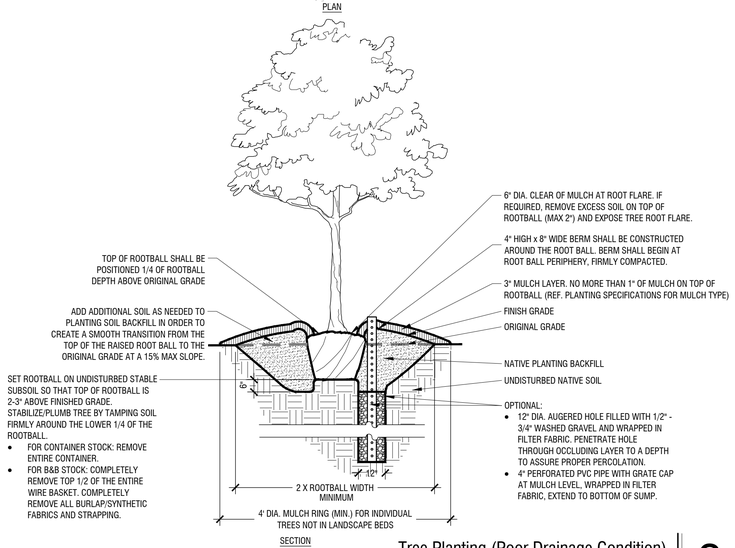
Typical Tree Staking **B**

Scale: NTS



PLAN

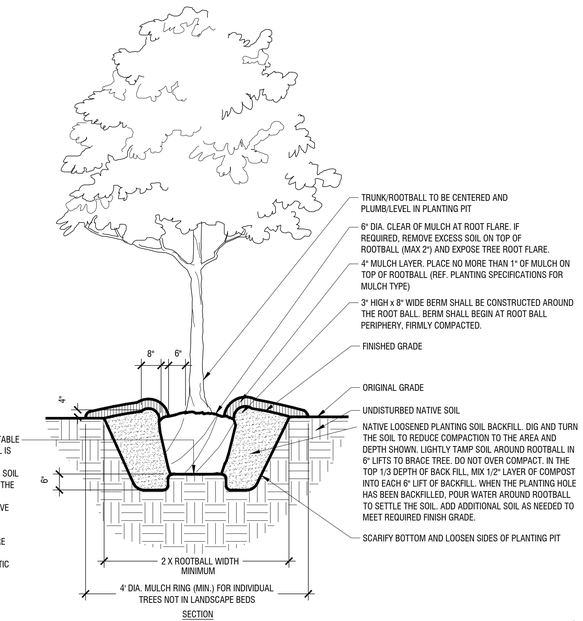
NOTES:
1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.



SECTION

Tree Planting (Poor Drainage Condition) **C**

Scale: NTS



SECTION

Typical Tree Planting (Up to 3" Caliper) **A**

Scale: NTS

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

_____
PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. No. 2458 Paul D. Freeland Date 07.02.2024

KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLANTING DETAILS

SHEET NUMBER
L2.08

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS ($100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS	SAMPLES
MULCH	ONE (1) CUBIC FOOT
TOPSOIL	ONE (1) CUBIC YARD
PLANTS	ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.
7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.
8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
   a. ORGANIC SOIL AMENDMENTS
      1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
      2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
      3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
      4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
      5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
      6. WORM CASTINGS: EARTHWORMS.
   b. INORGANIC SOIL AMENDMENTS
      1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.
      2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
      3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
      4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
      5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
   c. PLANTING SOIL MIX
      1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED EQUAL.
      2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

      2. SOD/SEED AREA TOPSOIL
      ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14
3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT
- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDING

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DO AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSIVE POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO MINIMUM DEPTH OF 6 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTH PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date 07.02.2024

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
068671058	JULY 2024	AS SHOWN	PDF	NJF	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLANTING SPECIFICATIONS

SHEET NUMBER
L2.09

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
4. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
5. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
6. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
7. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
9. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

TREE SURVEY:

TAG#	DBH	COMMON NAME	*SCIENTIFIC NAME*	CONDITION	MULTIPLE-STEMMED	ACTION	CLASS	REPLACEMENT RATIO	MITIGATION REQUIRED
6070	12.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6071	15.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	7.95
6072	12.3	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.15
6073	13.0	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.5
6074	11.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	5.6
6075	12.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6076	11.0	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	5.5
6077	11.1	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	5.55
6078	12.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.1
6079	12.5	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.25
6080	16.6	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	8.3
6081	14.7	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	7.35
6082	13.3	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.65
6083	16.5	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	8.25
6084	16.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6085	4.6	Hercules-club	*Zanthoxylum clava-herculis*	Healthy	Single	Preserve	Unprotected		
6086	14.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6087	15.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6088	13.7	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6089	17.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	8.95
6090	21.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	10.6
6091	11.0	Eastern Redcedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	0.5:1	5.5
6092	13.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.6
6093	17.6	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	8.8
6094	17.8	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	8.9
6095	12.7	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.35
6096	13.3	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	6.65
6097	12.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6098	13.8	Eastern Redcedar	*Juniperus virginiana*	Healthy	Single	Preserve	Secondary	0.5:1	
6099	11.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	0.5:1	5.6
6100	11.8	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6101	11.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Single	Preserve	Secondary	0.5:1	
6102	14.5	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6103	12.7	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6104	18.2	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6105	13.8	Eastern Redcedar	*Juniperus virginiana*	Healthy	Single	Preserve	Secondary	0.5:1	
6106	11.0	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6107	12.1	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6108	12.8	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6109	13.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6110	11.0	Eastern Redcedar	*Juniperus virginiana*	Healthy	Multi	Preserve	Secondary	0.5:1	
6111	12.9	Eastern Redcedar	*Juniperus virginiana*	Healthy	Forked	Preserve	Secondary	0.5:1	

Kimley-Horn red tree tag series: 6070-6111. Protected trees measuring 4-inches or larger at DBH were tagged, in accordance with the City of Rockwall Ordinance.

Tree Inches Being Removed	**Tree Inches**	**Mitigation Inches**
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	307.3	160.3
Total tree inches being removed - Feature - 2:1	0	0.0
Total tree inches being removed	307.3	160.3

Mitigation Inches	**160.3**
Proposed Tree Inches Per Planting Plan	**328**
NET TOTAL	**-167.7**

Tree Inches Being Relocated	**Tree Inches**	**Mitigation Inches**
Total small tree inches being relocated - 1:1	0	0
Total large and medium trees being relocated - < 6" - 1:1	0	0
Total large and medium trees being relocated - 7"-12" - 2:1	0	0
Total large and medium trees being relocated - 12"-24" - 3:1	0	0
Total large and medium trees being relocated - > 24" - 5:1	0	0
Total tree inches being relocated	0	0

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

_____
PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

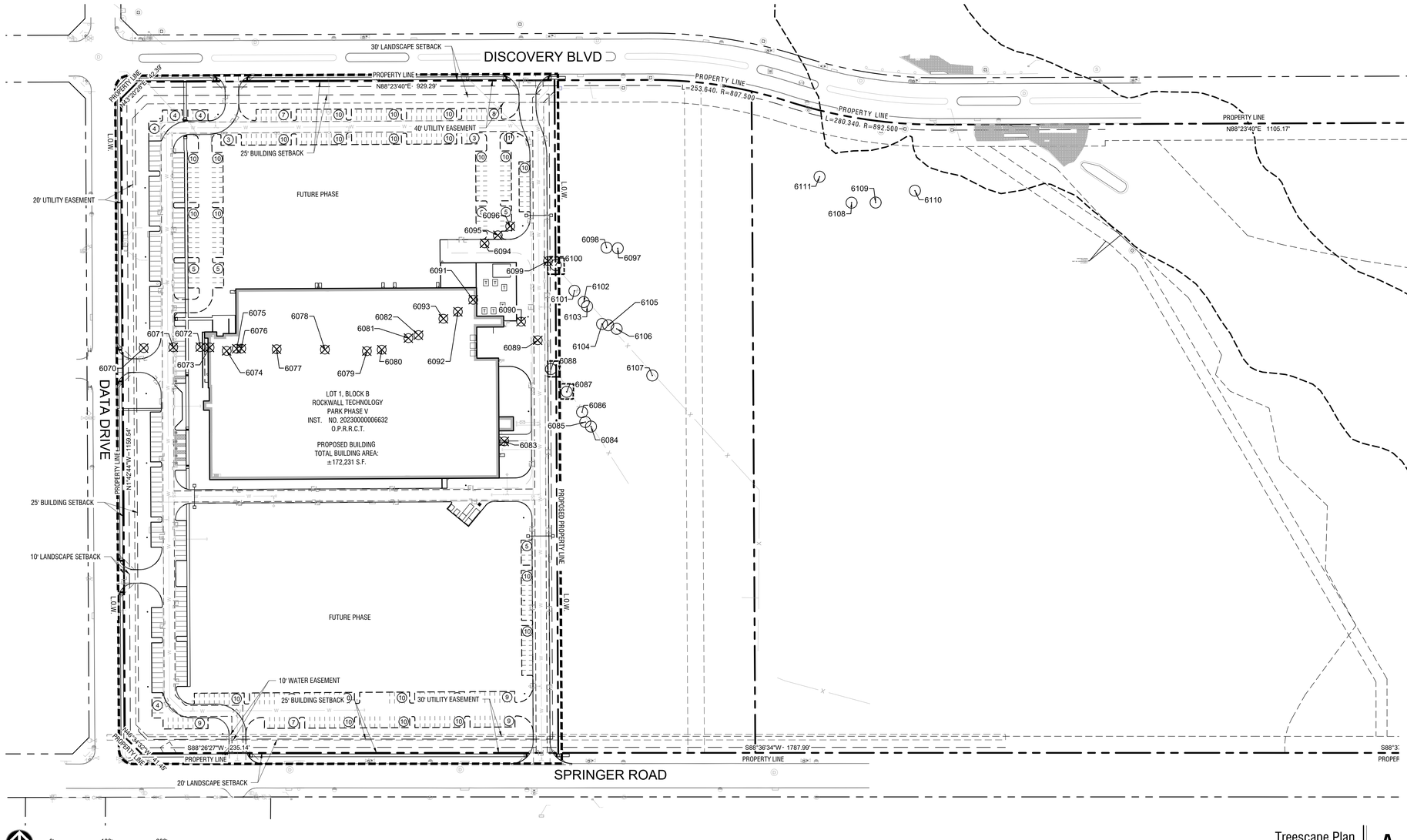
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date 07.02.2024

KHA PROJECT	068671058
DATE	JULY 2024
SCALE	AS SHOWN
DESIGNED BY	PDF
DRAWN BY	NJF
CHECKED BY	PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREE SURVEY AND TREESCAPE CALCULATIONS

SHEET NUMBER
L3.01



Treescape Plan

Scale: 1" = 100'-0"

A

TREE PROTECTION NOTES:

1. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
2. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
3. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
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8. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
9. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

SYMBOL LEGEND:		
	EXISTING TREE TO BE REMOVED	
	EXISTING TREE ON-SITE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION

SITE DATA TABLE:

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

PARKING DATA TABLE	
PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT (PER SHIFT)	198
ULTIMATE EMPLOYEE COUNT (PER SHIFT)	540
PHASE 1 REQUIRED PARKING	**149 TOTAL SPACES** 144 STANDARD SPACES 5 ADA SPACES
ULTIMATE REQUIRED PARKING	**405 TOTAL SPACES** 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	**149 TOTAL SPACES SPACES** 133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
ULTIMATE PROVIDED PARKING	**405 TOTAL SPACES SPACES** 386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
ROCKWALL TECHNOLOGY PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP2024-031
SUBMITTED JULY 2, 2024

LANDSCAPE ARCHITECT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (469) 301-2599
CONTACT: PAUL FREELAND, P.L.A.

OWNER:
BALLARD US INC.
2495 NE 4TH STREET
BEND, OR. 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT COUNCIL
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX. 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

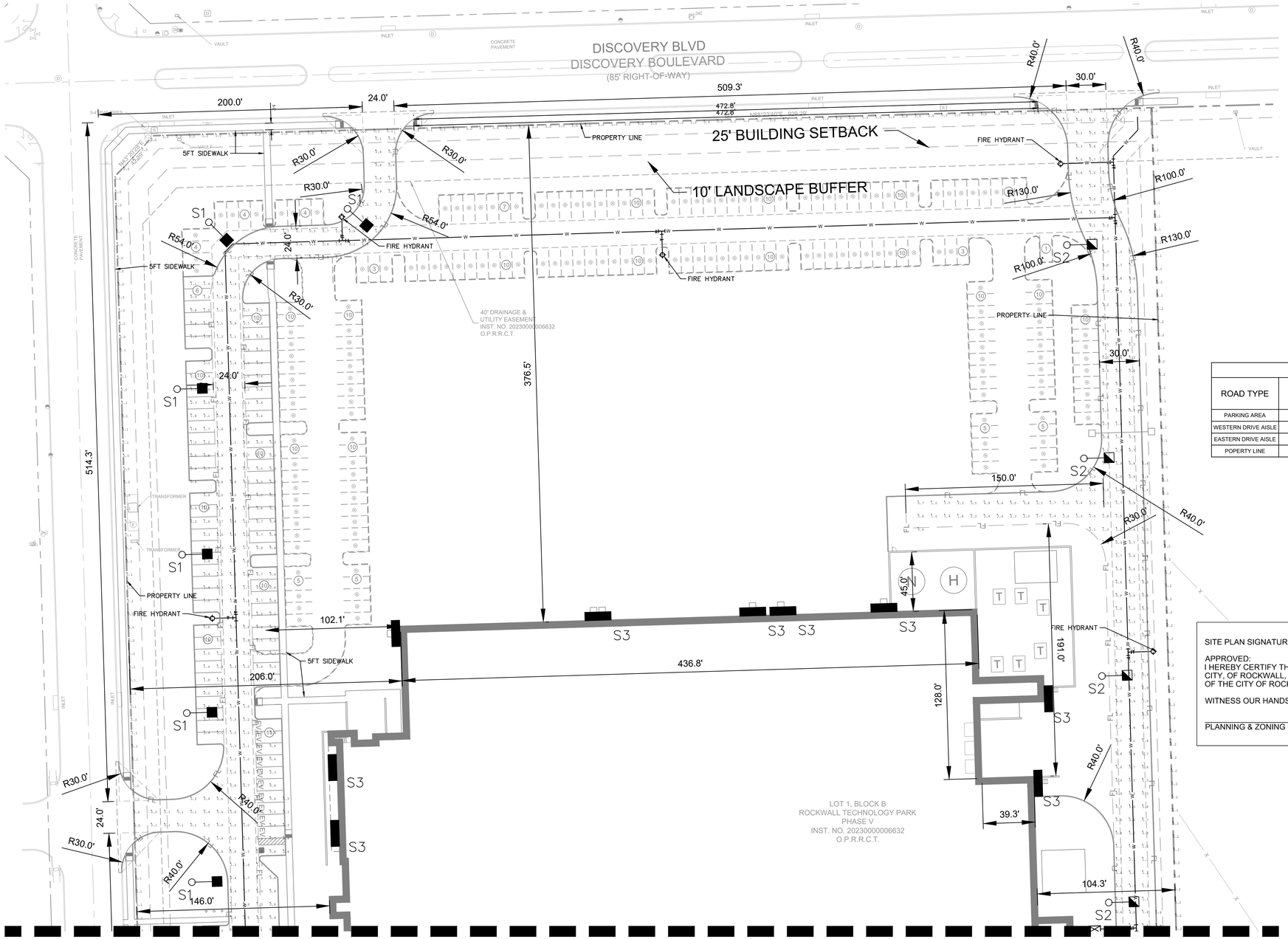
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Paul D. Freeland
L.A. No. 2458 Date 07.02.2024

KHA PROJECT 068671058
DATE JULY 2024
SCALE AS SHOWN
DESIGNED BY PDF
DRAWN BY NJF
CHECKED BY PDF

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLANS

SHEET NUMBER
L3.02



MATCHLINE: SEE SHEET E-102

NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

PHOTOMETRIC CRITERIA	
	ILLUMINANCE MAXIMUM (FC)
PROPERTY LINE	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.04	0.30	2.90	3.47
WESTERN DRIVE AISLE	1.14	0.40	2.80	2.85
EASTERN DRIVE AISLE	1.47	0.40	5.60	3.68
POPERTY LINE	0.07	0.00	0.20	N/A

SITE SUMMARY TABLE	
ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS ___ DAY OF ____, _____

_____ _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY	DESCRIPTION	ARRANGEMENT	LLF	MAKE AND MODEL	WATTS	LUMENS	MOUNT HEIGHT	LAMP	DISTRIBUTION TYPE	VOLTAGE	BUG RATING	LIGHT POLE MODEL
	S1	12	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T3LG-MVOLT-SPA-PIRH-DDBXD	102	14,687	30'	LED	TYPE 3	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S2	8	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P3-40K-T1S-MVOLT-SPA-PIRH-DDBXD	102	12,294	30'	LED	TYPE 1	120-277	2-0-2	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S3	12	WALL MOUNTED DOOR LIGHT	SINGLE	0.90	LITHONIA DSXW1-10C-350-40K-T4M MVOLT	13	1,357	8'	LED	TYPE 4	120-277	0-0-1	N/A

811 Know what's below. Call before you dig.

NTMWD UTILITIES LOCATED BY NTMWD NOT 811

CAUTION!!
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES
Kimley»Horn
ENGINEER JOSHUA J. TIDEWELL
P.E. No. 126374
Date 06/26/2024
Date 08/14/2024

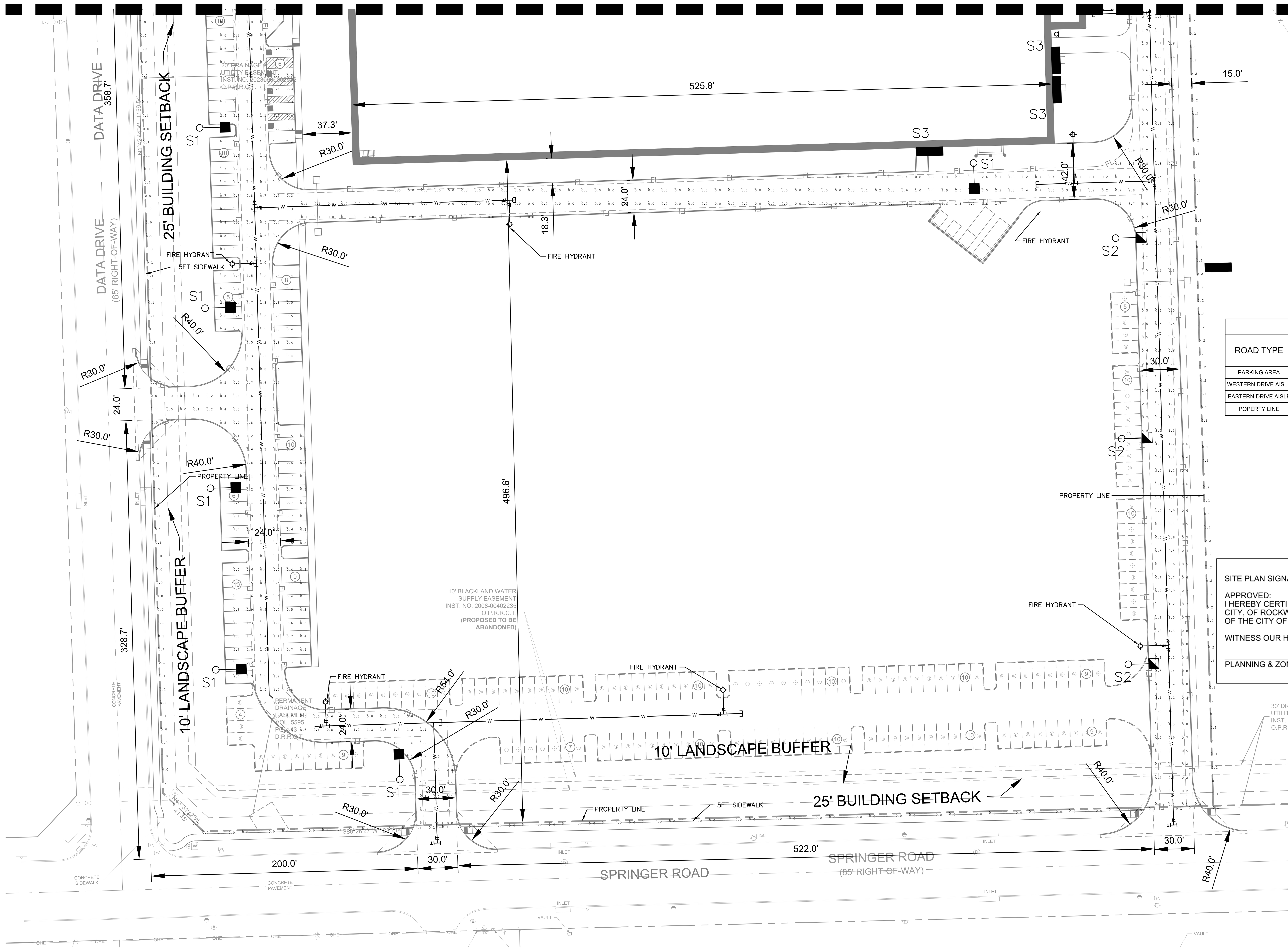
KHA PROJECT 068671058
DATE 06/26/2024
SCALE AS SHOWN
DESIGNED BY TAD
DRAWN BY AKA
CHECKED BY NMH

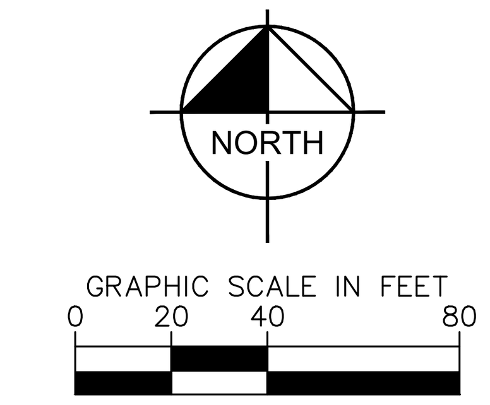
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

SHEET NUMBER
E-101

MATCHLINE: SEE SHEET E-101





PHOTOMETRIC CRITERIA	
	ILLUMINANCE MAXIMUM (FC)
PROPERTY LINE	0.2

PHOTOMETRIC ANALYSIS

ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
POPERTY LINE	0.06	0.00	0.20	N/A

SITE SUMMARY TABLE

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	462,384 SF
PROPOSED BUILDING FOOTPRINT	524,272 SF
TOTAL LAND AREA	958,322 SF/22.000 AC.
BUILDING COVERAGE	25%

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, THIS ___ DAY OF _____, _____

PLANNING & ZONING COMMISSION, CHAIRMAN   DIRECTOR OF PLANNING AND ZONING

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No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

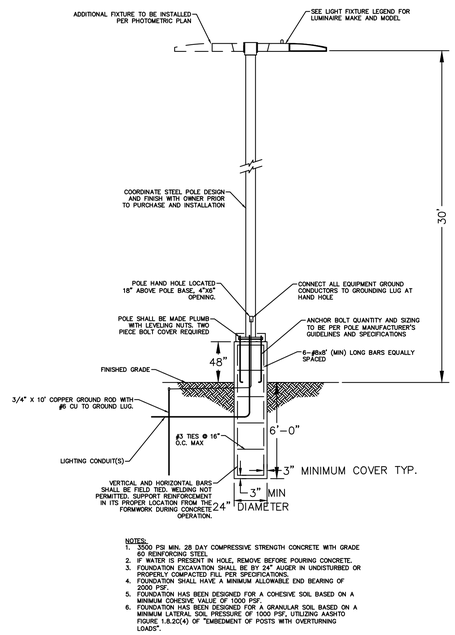
PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.
Kimley»Horn
Engineer NEDA M. HOSSEINY / DUSTIN J. COLWELL
P.E. No. 126707 / 125914
Date 06/26/2024 / 06/14/2024

KHA PROJECT	068671058
DATE	06/26/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AKA
CHECKED BY	NMH

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

SHEET NUMBER
E-102

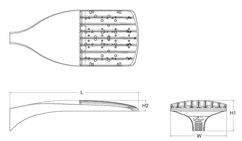


NOTES:
1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
2. IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
3. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS.
4. FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2000 PSF.
5. FOUNDATION DESIGN HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1000 PSF.
6. FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1000 PSF, UTILIZING AASHTO FIGURE 1.8.2C(4) OF "EMBEDMENT OF POSTS WITH OVERTURNING LOADS".

1 E-103 POLE FOUNDATION DETAIL
N.T.S.

D-Series Size 1
LED Area Luminaire

d^series



Catalog Number
Notes
Type
Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA: 0.69 ft² (0.06 m²)
Length: 32.71" (83.1 cm)
Width: 14.26" (36.2 cm)
Height H1: 7.88" (20.0 cm)
Height H2: 2.73" (6.9 cm)
Weight: 34 lbs (15.4 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

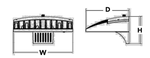
DSX1 LED

Series	LEDs	Color temperature[1]	Color Rendering Index[1]	Distribution	Voltage	Mounting
DSX1 LED	**Forward optics** P1 P6 P2 P7 P3 P8 P4 P9 P5 **Rotated optics** P10[1] P12[1] P11[1] P13[1]	(this section 70CRI only): 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI 80CRI 80CRI 80CRI 80CRI 80CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare[1] T4M Type IV medium T4LG Type IV low glare[1] TFTM Forward throw medium T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control[1] BLC4 Type IV backlight control[1] LCCO Left corner cutoff[1] RCCO Right corner cutoff[1]	MVOLT (120V-277V)[1] HVOLT (347V-480V)[1,6] XVOLT (277V - 480V)[1,9] 120[10,11] 208[10,11] 240[10,11] 277[10,11] 347[10,11] 480[10,11]	**Shipped included** SPA Square pole mounting (#8 drilling) RPA Round pole mounting (#8 drilling) SPAS Square pole mounting #5 drilling[1] RPAS Round pole mounting #5 drilling[1] SPABN Square narrow pole mounting #8 drilling WBA Wall bracket[10] MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options		Other options		Finish (required)	
Shipped installed		**Shipped installed**		DDBXD	Dark Bronze
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11,12,26,27]	SPD20KV	20KV surge protection	DBLXD	Black
PIR	High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11,26,27]	HS	Houseside shield (black finish standard)[27]	DNAXD	Natural Aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate)[24]	L90	Left rotated optics[1]	DWHXD	White
PERS	Five-pin receptacle only (controls ordered separate)[24,25]	R90	Right rotated optics[1]	DDBTXD	Textured dark bronze
PER7	Seven-pin receptacle only (controls ordered separate)[24,25]	CCE	Coastal Construction[23]	DBLBXD	Textured black
FAO	Field adjustable output[15,21]	HA	50°C ambient operation[28]	DNATXD	Textured natural aluminum
BL30	Bi-level switched dimming, 30%[26,27]	BAA	Buy American(n) Act Compliant	DWHGXD	Textured white
BL50	Bi-level switched dimming, 50%[26,27]	SF	Single fuse (120, 277, 347V)[28]		
DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)[17]	DF	Double fuse (208, 240, 480V)[28]		
DS	Dual switching[16,18,27]	**Shipped separately**			
		EGSR	External Glare Shield (reversible, field install required, matches housing finish)		
		BSDB	Bird Spikes (field install required)		

D-Series Size 1
LED Wall Luminaire

d^series



Catalog Number
Notes
Type
Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Luminaire
Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)
Weight: 12 lbs (5.4 kg)

Back Box (BBW, E20WC)
Width: 13-3/4" (34.9 cm)
Depth: 4" (10.2 cm)
Height: 6-3/8" (16.2 cm)
BBW Weight: 5 lbs (2.3 kg)
E20WC Weight: 10 lbs (4.5 kg)

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)[1]	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)[1]	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT[2] 120[3] 208[3] 240[3] 277[3] 347[3,4] 480[3,4]	**Shipped included** (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry)[5]	**Shipped installed** PE Photoelectric cell, button type[6] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht[7,8] PIRH 180° motion/ambient light sensor, 15-30' mtg ht[7,8] PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[7,8] PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[7,8] E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant[9,12]

Other Options		Finish (required)			
Shipped installed		DDBXD	Dark bronze	DSSXD	Sandstone
SF Single fuse (120, 277 or 347V)[3,10]	**Shipped separately**[10]	DBLXD	Black	DDBTXD	Textured dark bronze
DF Double fuse (208, 240 or 480V)[3,10]	BSW Bird-deterrent spikes	DNAXD	Natural aluminum	DBLBXD	Textured black
HS House-side shield[11]	VG Vandal-guard	DWHXD	White	DNATXD	Textured natural aluminum
SPD Separate surge protection[12]	DDL Diffused drop lens				

DWHGXD	Textured white				
DSSTXD	Textured sandstone				

Accessories

Ordered and shipped separately.

DSXWHS U House-side shield (one per light engine)
DSXWBSW U Bird-deterrent spikes
DSXWTVG U Vandal-guard accessory

NOTES
1. 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
3. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
6. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
7. Reference Motion Sensor table on page 3.
8. Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
9. Not available with SPD.
10. Not available with E20WC.
11. Also available as a separate accessory; see Accessories information.
12. Not available with E20WC.

2 E-103 PHOTOMETRIC CUTSHEETS
N.T.S.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ____, ____.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ____

_____
PLANNING & ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

811 Know what's below. Call before you dig.

NTMWD UTILITIES LOCATED BY NTMWD NOT 811

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No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TEXAS 75240
PHONE: 972.770.1300 FAX: 972.239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES
Engineer JOSHUA J. BELWELL
P.E. No. 126914
Date 06/14/2024

KHA PROJECT 068671058
DATE 06/20/2024
SCALE AS SHOWN
DESIGNED BY TAD
DRAWN BY AKA
CHECKED BY NMH

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PHOTOMETRIC DETAILS

SHEET NUMBER
E-103

d-series

D-Series Size 1
LED Wall Luminaire

NIGHTTIME FRIENDLY™ BAA BABA

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

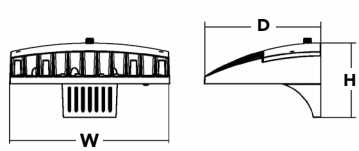
Specifications

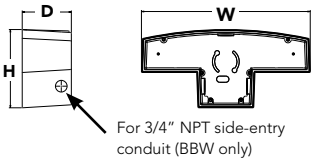
Luminaire

Width:	13-3/4" *(34.9 cm)*	**Weight:**	12 lbs *(5.4 kg)*
Depth:	10" *(25.4 cm)*		
Height:	6-3/8" *(16.2 cm)*		

Back Box (BBW, E20WC)

Width:	13-3/4" *(34.9 cm)*	**BBW Weight:**	5 lbs *(2.3 kg)*
Depth:	4" *(10.2 cm)*	**E20WC Weight:**	10 lbs *(4.5 kg)*
Height:	6-3/8" *(16.2 cm)*		





For 3/4" NPT side-entry conduit (BBW only)

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines) [1]	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) [1]	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT [2] 120 [3] 208 [3] 240 [3] 277 [3] 347 [3,4] 480 [3,4]	**Shipped included** (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry) [5]	**Shipped installed** PE Photoelectric cell, button type [6] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht [1,7] PIRH 180° motion/ambient light sensor, 15-30' mtg ht [1,7] PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc [1,7] PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc [1,7] E20WC Emergency battery backup (includes external component enclosure), CA Title 20 compliant [8,9]

Other Options

Shipped installed

SF	Single fuse (120, 277 or 347V) [3,10]
DF	Double fuse (208, 240 or 480V) [3,10]
HS	House-side shield [11]
SPD	Separate surge protection [12]

Shipped separately [11]

BSW	Bird-deterrent spikes
VG	Vandal guard
DDL	Diffused drop lens

Finish *(required)*

DDBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white
DBLXD	Black	DDBTXD	Textured dark bronze	DSSTXD	Textured sandstone
DNAXD	Natural aluminum	DBLBXD	Textured black		
DWHXD	White	DNATXD	Textured natural aluminum		

Accessories

Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1VG U	Vandal guard accessory

NOTES

1 20C 1000 is not available with PIR, PIRH, PIR1FC3V or PIRH1FC3V.
2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
3 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
4 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
5 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
6 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
7 Reference Motion Sensor table on page 3.
8 Same as old ELCW. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
9 Not available with SPD.
10 Not available with E20WC.
11 Also available as a separate accessory; see Accessories information.
12 Not available with E20WC.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K (3000 K, 70CRI)					40K (4000 K, 70CRI)					50K (5000 K, 70CRI)					AMBPC (Amber Phosphor Converted)				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
10C (10 LEDs)	350mA	13W	T2S	1,415	0	0	1	109	1,520	0	0	1	117	1,530	0	0	1	118	894	0	0	1	69
			T2M	1,349	0	0	1	104	1,448	0	0	1	111	1,458	0	0	1	112	852	0	0	1	66
			T3S	1,399	0	0	1	108	1,503	0	0	1	116	1,512	0	0	1	116	884	0	0	1	68
			T3M	1,385	0	0	1	107	1,488	0	0	1	114	1,497	0	0	1	115	876	0	0	1	67
			T4M	1,357	0	0	1	104	1,458	0	0	1	112	1,467	0	0	1	113	858	0	0	1	66
			TFTM	1,411	0	0	1	109	1,515	0	0	1	117	1,525	0	0	1	117	892	0	0	1	69
	530 mA	19W	T2S	2,053	1	0	1	108	2,205	1	0	1	116	2,220	1	0	1	117	1,264	0	0	1	67
			T2M	1,957	1	0	1	103	2,102	1	0	1	111	2,115	1	0	1	111	1,205	0	0	1	63
			T3S	2,031	1	0	1	107	2,181	1	0	1	115	2,194	1	0	1	115	1,250	0	0	1	66
			T3M	2,010	1	0	1	106	2,159	1	0	1	114	2,172	1	0	1	114	1,237	0	0	1	65
			T4M	1,970	1	0	1	104	2,115	1	0	1	111	2,129	1	0	1	112	1,212	0	0	1	64
			TFTM	2,047	0	0	1	108	2,198	1	0	1	116	2,212	1	0	1	116	1,260	0	0	1	66
	700 mA	26W	T2S	2,623	1	0	1	101	2,816	1	0	1	108	2,834	1	0	1	109	1,544	0	0	1	59
			T2M	2,499	1	0	1	96	2,684	1	0	1	103	2,701	1	0	1	104	1,472	0	0	1	57
			T3S	2,593	1	0	1	100	2,785	1	0	1	107	2,802	1	0	1	108	1,527	0	0	1	59
			T3M	2,567	1	0	1	99	2,757	1	0	1	106	2,774	1	0	1	107	1,512	0	0	1	58
			T4M	2,515	1	0	1	97	2,701	1	0	1	104	2,718	1	0	1	105	1,481	0	0	1	57
			TFTM	2,614	1	0	1	101	2,808	1	0	1	108	2,825	1	0	1	109	1,539	0	0	1	59
	1000 mA	39W	T2S	3,685	1	0	1	94	3,957	1	0	1	101	3,982	1	0	1	102	2,235	1	0	1	57
			T2M	3,512	1	0	1	90	3,771	1	0	1	97	3,794	1	0	1	97	2,130	1	0	1	55
			T3S	3,644	1	0	1	93	3,913	1	0	1	100	3,938	1	0	1	101	2,210	1	0	1	57
			T3M	3,607	1	0	1	92	3,873	1	0	1	99	3,898	1	0	1	100	2,187	1	0	1	56
			T4M	3,534	1	0	2	91	3,796	1	0	2	97	3,819	1	0	2	98	2,143	1	0	1	55
			TFTM	3,673	1	0	1	94	3,945	1	0	1	101	3,969	1	0	1	102	2,228	1	0	1	57
20C (20 LEDs)	350mA	23W	T2S	2,820	1	0	1	123	3,028	1	0	1	132	3,047	1	0	1	132	1,777	1	0	1	77
			T2M	2,688	1	0	1	117	2,886	1	0	1	125	2,904	1	0	1	126	1,693	1	0	1	74
			T3S	2,789	1	0	1	121	2,994	1	0	1	130	3,014	1	0	1	131	1,757	0	0	1	76
			T3M	2,760	1	0	1	120	2,965	1	0	1	129	2,983	1	0	1	130	1,739	1	0	1	76
			T4M	2,704	1	0	1	118	2,905	1	0	1	126	2,922	1	0	1	127	1,704	1	0	1	74
			TFTM	2,811	1	0	1	122	3,019	1	0	1	131	3,038	1	0	1	132	1,771	0	0	1	77
	530 mA	35W	T2S	4,079	1	0	1	117	4,380	1	0	1	125	4,407	1	0	1	126	2,504	1	0	1	72
			T2M	3,887	1	0	1	111	4,174	1	0	1	119	4,201	1	0	1	120	2,387	1	0	1	68
			T3S	4,033	1	0	1	115	4,331	1	0	1	124	4,359	1	0	1	125	2,477	1	0	1	71
			T3M	3,993	1	0	2	114	4,288	1	0	2	123	4,315	1	0	2	123	2,451	1	0	1	70
			T4M	3,912	1	0	2	112	4,201	1	0	2	120	4,227	1	0	2	121	2,402	1	0	1	69
			TFTM	4,066	1	0	2	116	4,366	1	0	2	125	4,394	1	0	2	126	2,496	1	0	1	71
	700 mA	46W	T2S	5,188	1	0	1	113	5,572	1	0	1	121	5,607	1	0	1	122	3,065	1	0	1	67
			T2M	4,945	1	0	2	108	5,309	1	0	2	115	5,343	1	0	2	116	2,921	1	0	1	64
			T3S	5,131	1	0	2	112	5,510	1	0	2	120	5,544	1	0	2	121	3,031	1	0	1	66
			T3M	5,078	1	0	2	110	5,454	1	0	2	119	5,487	1	0	2	119	3,000	1	0	1	65
			T4M	4,975	1	0	2	108	5,343	1	0	2	116	5,376	1	0	2	117	2,939	1	0	1	64
			TFTM	5,172	1	0	2	112	5,554	1	0	2	121	5,589	1	0	2	122	3,055	1	0	1	66
	1000 mA	73W	T2S	7,204	1	0	2	99	7,736	2	0	2	106	7,784	2	0	2	107	4,429	1	0	1	61
			T2M	6,865	1	0	2	94	7,373	2	0	2	101	7,419	2	0	2	102	4,221	1	0	1	58
			T3S	7,125	1	0	2	98	7,651	1	0	2	105	7,698	1	0	2	105	4,380	1	0	1	60
			T3M	7,052	1	0	2	97	7,573	2	0	2	104	7,620	2	0	2	104	4,335	1	0	2	59
			T4M	6,909	1	0	2	95	7,420	1	0	2	102	7,466	1	0	2	102	4,248	1	0	2	58
			TFTM	7,182	1	0	2	98	7,712	1	0	2	106	7,761	1	0	2	106	4,415	1	0	2	60

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	**77°F**	**1.00**
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.93	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A) 120V	208V	240V	277V	347V	480V
10C	350	14 W	0.13	0.07	0.06	0.06	-	-
	530	20 W	0.19	0.11	0.09	0.08	-	-
	700	27 W	0.25	0.14	0.13	0.11	-	-
	1000	40 W	0.37	0.21	0.19	0.16	-	-
20C	350	24 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	0.15	0.11
	1000	74 W	0.69	0.40	0.35	0.30	0.23	0.17

Motion Sensor Default Settings

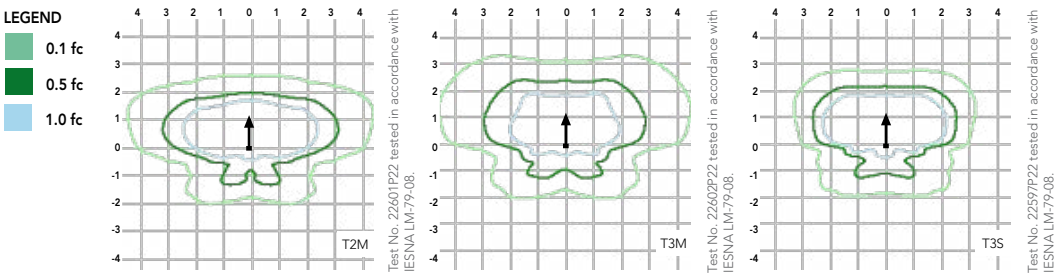
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

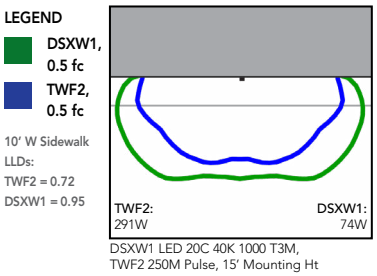
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 1 homepage.

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Distribution overlay comparison to 250W metal halide.



DSXW1 LED 20C 40K 1000 T3M, TWF2 250M Pulse, 15' Mounting Ht

Options and Accessories

T3M (left) | **HS - House-side shields** | **BSW - Bird-deterrent spikes** | **VG - Vandal guard** | **DDL - Diffused drop lens**

FEATURES & SPECIFICATIONS

INTENDED USE
The energy savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION
Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS
Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL
Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION
Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS
CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

GOVERNMENT PROCUREMENT
BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY
Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

d-series

D-Series Size 2
LED Wall Luminaire

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

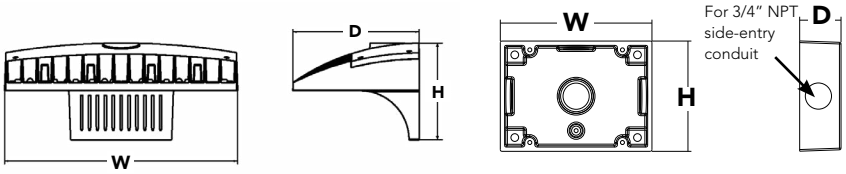
Specifications

Luminaire

Width:	18-1/2" (47.0 cm)	**Weight:**	21 lbs (9.5 kg)
Depth:	10" (25.4 cm)		
Height:	7-5/8" (19.4 cm)		

Back Box (BBW)

Width:	5-1/2" (14.0 cm)	**BBW Weight:**	1 lbs (0.5 kg)
Depth:	1-1/2" (3.8 cm)		
Height:	4" (10.2 cm)		



A+ Capable options indicated by this color background.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA[1] (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted[2]	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium	MVOLT[3] 120[4] 208[4] 240[4] 277[4] 347[4,5] 480[4,5]	**Shipped included** (blank) Surface mounting bracket **Shipped separately**[6] BBW Surface-mounted back box (for conduit entry)	**Shipped installed** PE Photoelectric cell, button type[7] PER NEMA twist-lock receptacle only (control ordered separate)[8] PER5 Five-wire receptacle only (control ordered separate)[8,9] PER7 Seven-wire receptacle only (control ordered separate)[8,9] DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor,<15' mtg ht[10,11] PIRH 180° motion/ambient light sensor, 15-30' mtg ht[10,11] PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[11,12] PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[11,12]

Other Options			Finish *(required)*					
Shipped installed		**Shipped separately**[13]	DDBXD	Dark bronze	DSSXD	Sandstone	DWHGXD	Textured white
SF	Single fuse (120, 277, 347V)[3]	BSW Bird-deterrent spikes	DBLXD	Black	DDBTXD	Textured dark bronze	DSSTXD	Textured sandstone
DF	Double fuse (208, 240, 480V)[3]	VG Vandal guard	DNAXD	Natural aluminum	DBLBXD	Textured black		
HS	House-side shield[4]		DWHXD	White	DNATXD	Textured natural aluminum		
SPD	Separate surge protection[13]							

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Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) [14]
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) [14]
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) [14]
DSHORT SBK U	Shorting cap (Included when ordering PER, PER5 or PER7) [14]
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)

For more control options, visit DTL and ROAM online.

NOTES

1 1000mA is not available with AMBPC.
2 AMBPC is not available with 1000mA.
3 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
4 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
5 Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
6 Also available as a separate accessory; see Accessories information.
7 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
8 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
9 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
10 Reference Motion Sensor table on page 3.
11 Reference PER Table on page 3 for functionality.
12 PIR and PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
13 See the electrical section on page 2 for more details.
14 Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C (20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105	7,723	1	0	1	104
			T2M	6,954	2	0	2	95	7,467	2	0	2	102	7,514	2	0	2	103
			T3S	7,057	1	0	2	97	7,579	1	0	2	104	7,627	1	0	2	104
			T3M	7,172	2	0	3	98	7,702	2	0	3	106	7,751	2	0	3	106
			T4M	7,076	1	0	2	97	7,599	1	0	2	104	7,646	1	0	2	105
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104	7,641	1	0	2	105
30C (30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103	11,311	2	0	2	104
			T2M	10,184	2	0	3	93	10,936	2	0	3	100	11,005	2	0	3	101
			T3S	10,335	2	0	2	95	11,099	2	0	2	102	11,169	2	0	2	102
			T3M	10,505	2	0	3	96	11,280	2	0	3	103	11,351	2	0	3	104
			T4M	10,365	2	0	2	95	11,129	2	0	2	102	11,198	2	0	2	103
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102	11,190	2	0	3	103

Note:
Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm.
Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	**77°F**	**1.00**
30°C	86°F	1.00
40°C	104°F	0.98

Electrical Load

			Current (A)					
LEDs	Drive Current (mA)	System Watts	120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use when motion sensor is used as dusk to dawn control

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

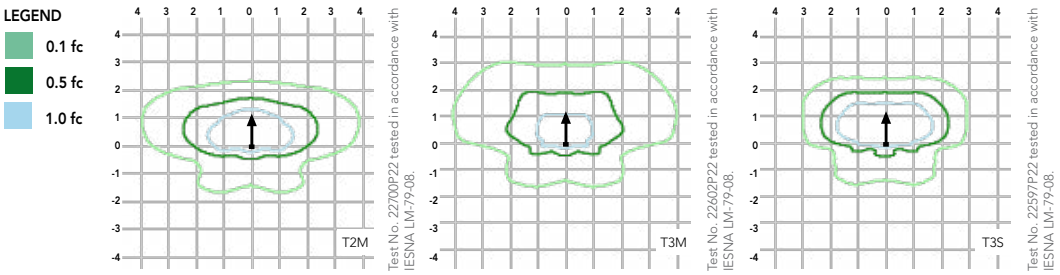
*Futureproof means: Ability to change controls in the future.

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

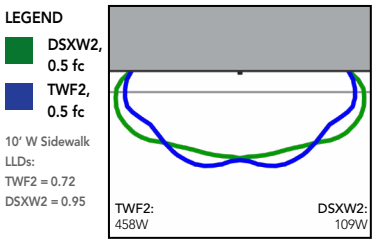
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 2 homepage.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



DSXW2 LED 30C 40K 1000 T2M, TWF2 400M Pulse, 25' Mounting Ht

FEATURES & SPECIFICATIONS

INTENDED USE
The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION
Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS
Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL
Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION
Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS
CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

GOVERNMENT PROCUREMENT
BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.
BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act.
Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY
Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	July 9, 2024
APPLICANT:	Salvador Salcedo
CASE NUMBER:	SP2024-032; *Site Plan for 855 Whitmore Drive*

On June 25, 2024, the Architectural Review Board (ARB) reviewed the proposed building elevations and made the following recommendations: [*1*] provide a color rendering of the building, [*2*] change the awning over the west roll up door to match the awning over the front entry of the building, [*3*] center the windows and roll up door on their perspective façade, and [*4*] provide an architectural element or spandrel glass on the left side of the front entrance for the purpose of providing balance with the roll up door on the right side of the building. Since that the site plan was scheduled for action on June 25, 2024, the ARB approved a recommendation to table the case, by a vote of 5-0. Based on the ARB's recommendation and the applicant not being present at the meeting, the Planning and Zoning Commission approved a motion to table the site plan until the July 9, 2024 Planning and Zoning Commission meeting.

On July 3, 2024, the applicant provided staff a rendering and revised building elevations based on the recommendations from the Architectural Review Board (ARB). The revised building elevations address items 1-3 listed above; however, to address item 4 the applicant moved the roll up door on the west side of the building to the front of the building. This does not meet what the ARB was requesting, as they asked for an architectural element or spandrel glass. In addition, this brings the proposed building further out of conformance with the off-street loading dock requirements, as two (2) bay doors now face a public roadway (*i.e. Whitmore Drive*). Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the *July 9, 2024* Planning and Zoning Commission meeting.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	July 9, 2024
APPLICANT:	Salvador Salcedo
CASE NUMBER:	SP2024-032; *Site Plan for 855 Whitmore Drive*

SUMMARY

Discuss and consider a request by Salvador Salcedo for the approval of a *Site Plan* for an *Office/Warehouse Building* on a 0.45- acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02* [*Case No. A1959-002*]. According to the January 3, 1972 zoning map the subject property was zoned Light Industrial (LI) District, which remains the zoning designation of the subject property today. In March of 1978, the subject property was platted establishing it as Lot 1, Block A, Municipal Industrial Park Addition. On March 19, 2007, the City Council approved a replat [*Case No. P2007-008*] that establish the subject property as Lot 8, Block A, Municipal Industrial Park Addition. On May 2, 2016, the City Council approved an additional replat [*Case No. P2016-017*] that establish the subject property as Lot 10, Block A, Municipal Industrial Park Addition. On November 14, 2023, the Planning and Zoning Commission denied a site plan request [*Case No. SP2023-032*] for an *Office/Warehouse Building* due to a recommendation of denial from the Architectural Review Board (ARB) and the failure to provide compensatory measures. On March 15, 2024 the applicant submit a site plan request [*Case No. SP2024-006*] for a similar request, which was ultimately withdrawn on May 9, 2024. The subject property has remained vacant since the time of annexation.

PURPOSE

On June 14, 2024, the applicant -- *Salvador Salcedo.* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing an *Office/Warehouse Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 855 Whitmore Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 1.747-acre tract of land (*i.e. Tract 24 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Beyond this is a vacant 1.83-acre tract of land (*i.e. Tract 14 of the R. Ballard Survey, Abstract No. 29*) zoned Light Industrial (LI) District. Following this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this is Phase 3 of the Park Place Subdivision, which consists of 85 residential lots and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 15.7017-acre tract of land (*i.e. Tract 20-1 of the A. Hanna Survey, Abstract No. 99*) zoned Light Industrial (LI) District. Following this is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.96-acre parcel of land (*i.e. Lot 11, Block A, Municipal Industrial Park Addition*) zoned Light Industrial (LI) District. Beyond this is a 3.35-acre parcel of land (*i.e. Lot 5, Block A, Municipal Industrial Park Addition*) developed with a maintenance building for Rockwall County that is zoned Light Industrial (LI) District. Following this is Whitmore Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.19-acre parcel of land (*i.e. Lot 9, Block A, Municipal Industrial Park Addition*) developed with a *Bail Bond Service* that is zoned Light Industrial (LI) District. Beyond this is T. L. Townsend Drive, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall County Law Enforcement Center Addition*) developed with the Rockwall County Detention Center, which is zoned Commercial (C) District and Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office/Warehouse Building* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*12,500 SF*	*X=19,737 SF; In Conformance*
Minimum Lot Frontage	*100-Feet*	*X= 120.95-feet; In Conformance*
Minimum Lot Depth	*125-Feet*	*X=160-feet; In Conformance*
Minimum Front Yard Setback	*25-Feet*	*X>25-feet; In Conformance*
Minimum Rear Yard Setback	*10-Feet*	*X>10-feet; In Conformance*
Minimum Side Yard Setback	*15-Feet*	*X>15-feet; In Conformance*
Maximum Building Height	*60-Feet*	*X=28.1-feet; In Conformance*
Max Building/Lot Coverage	*60%*	*X=25.13%; In Conformance*
Minimum Number of Parking Spaces	*1 Parking Space/300 SF (Office)* *1 Parking Space/500 SF (Light Manufacturing)* *Total: 11 Parking Spaces*	*X=11; In Conformance*
Minimum Landscaping Percentage	*15%*	*X=44%; In Conformance*
Maximum Impervious Coverage	*90-95%*	*X=56%; In Conformance*

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 40 caliper inches will be removed from the site during construction. Based on the landscape requirements, the applicant is providing 60 caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct an *Office/Warehouse Building* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a Warehouse/Distribution Center is defined as a "… building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ..." In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a "…(a) facility that provides executive, management, administrative, or professional services … but not involving the sale of merchandise except as incidental to a permitted use..."

In this case, the applicant's request for an *Office/Warehouse Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ..." and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Screening.

(a) *Off-Street Loading Docks*. According to Subsection 1.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property. The screening must be at least six (6) feet in height and shall be provided by using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless integral to the buildings design and otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the proposed building elevations indicate a loading dock facing directly onto Whitmore Drive, and an additional loading dock facing west that will be visible from Whitmore Drive. In addition, the applicant has not proposed any screening methods. This will require an *exception* from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Central District*. The *Central District* "…is composed of a wide range of land uses that vary from single-family to industrial." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing an *Office/Warehouse Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan; however, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that staff should "… encourage high quality and inspiring architecture throughout the City..." The OURHometown Vision 2040 Comprehensive Plan goes on to state that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- *or 'articulated' in architectural terms* --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is requesting exceptions to building articulation requirements and has failed to incorporate any horizontal articulation or relief to the proposed building. The lack of design appears to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Based on this the applicant's proposal *does not* appear to meet the vision of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) reviewed the proposed building elevations on June 25, 2024, and provide a recommendation table the case by a vote of 5-0 to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for the construction of an *Office/Warehouse Building* on the *subject property*, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,

(2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1] IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2] A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	855 Whitmore Dr				
SUBDIVISION		LOT		BLOCK	
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING		CURRENT USE			
PROPOSED ZONING		PROPOSED USE			
ACREAGE		LOTS [CURRENT]		LOTS [PROPOSED]	

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	Salvador Salcedo	☐ APPLICANT	
CONTACT PERSON	Salvador Salcedo	CONTACT PERSON	
ADDRESS	210 Cedar Tree In	ADDRESS	
CITY, STATE & ZIP	Heath, Texas 75032	CITY, STATE & ZIP	
PHONE	214-552-2008	PHONE	
E-MAIL	salvasalce@novaairac.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

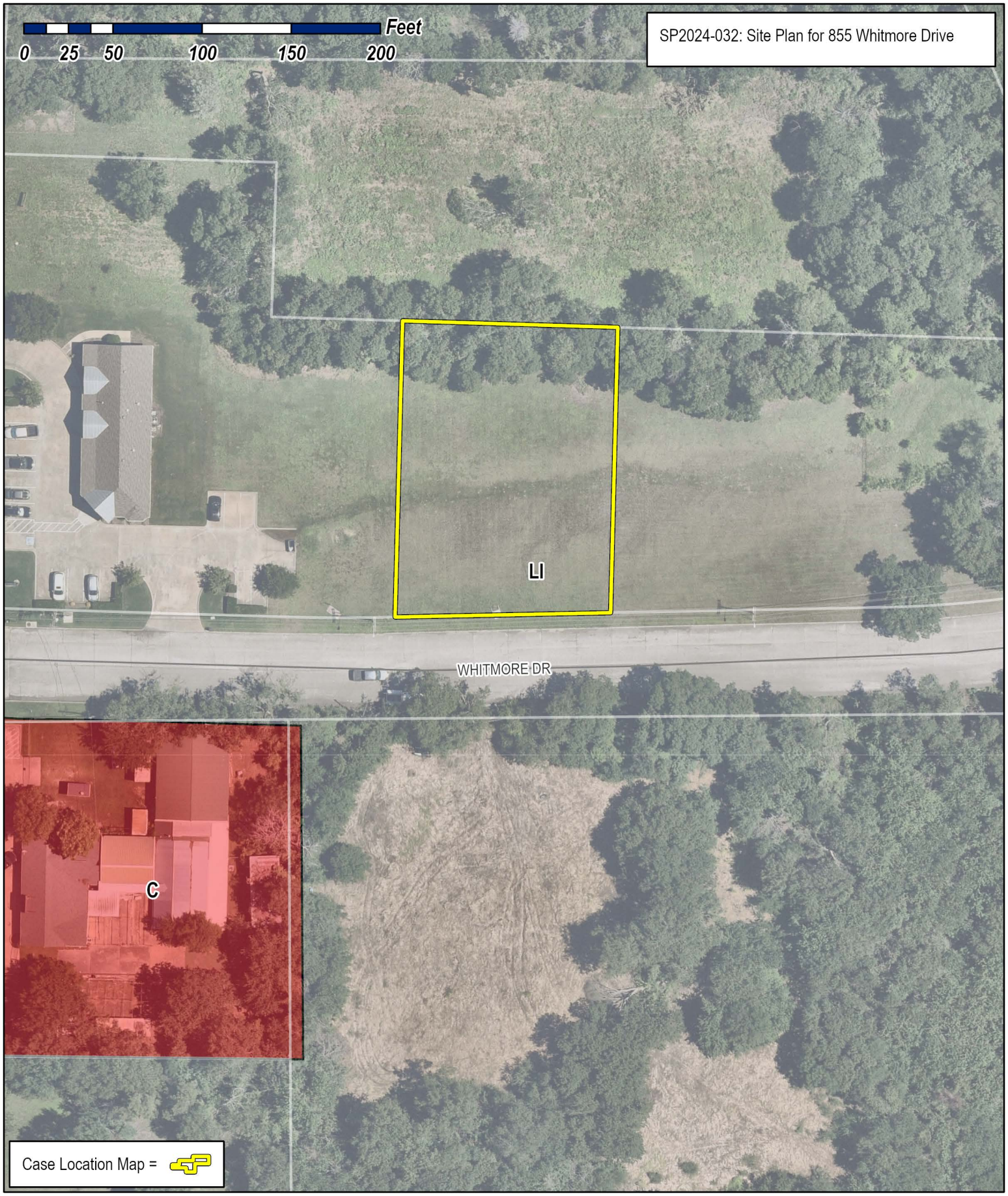
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

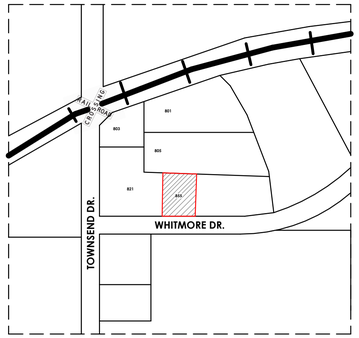
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MONICA JONES
Notary Public, State of Texas
Comm. Expires 02-07-2026
Notary ID 133573774

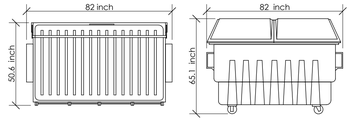
MY COMMISSION EXPIRES 02-07-2026



City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com



VICINITY MAP



NOTE:
LOCATION OF THE MOBILE GARBAGE CONTAINER WILL BE INSIDE THE BUILDING. THE GARBAGE CONTAINER WILL BE TAKEN OUTSIDE ONLY ON DAYS WHEN THE GARBAGE TRUCK PASSES BY AND CAN BE ACCESSED.

FL030

3 CUBIC YARD FEL
W 82.0"
D 50.6"
H 65.1"
LOADING RATING 1500 LBS
WEIGHT 281 LBS

MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)

MOBILE TRASH CONTAINER / DUMPSTER (1,500 LB. CAPACITY)

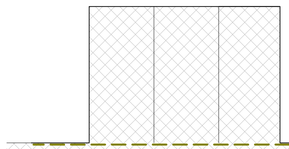
PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
DRIVEWAY	3,259 SQ.FT.
PARKING	2,140 SQ.FT.
WALLKING AREA	385 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

USE OF STRUCTURE

CONSTRUCTION TYPE: LI
LIGHT INDUSTRIAL
NO. STORIES: ONE
HEIGHT: 60' 0"
SETBACKS
FRONT: 25' 0"
SIDE: 15' 0"
REAR: 20' 0"
MAX. LOT COVERAGE: 60%

PARKING REQUIREMENT SCHEDULE

INDUSTRIAL AND MANUFACTURING LAND USES (LI)	
LAND USE	MINIMUM PARKING REQUIRED
Apparel Manufacturing	1/200 SF
Asphalt or Concrete Batch Plant	As Determined by the Director
Industrial and Manufacturing Other Than Listed	As Determined by the Director
Light Assembly and Fabrication	1/500 SF or 0.75/Employee[1&3]
Heavy Manufacturing	1/500 SF or 0.75/Employee[1&3]
Printing, Engraving, and Related Businesses	1/300 SF or 1/Employee[1]
Welding Repair	1/500 SF or 1/2 Employees[1]



1), 2)

NOTE:
- IN THIS PROJECT NO TYPE OF FENCE IS PROPOSED,
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- AN OFF-STREET LOADING DOCK IS NOT PROPOSED AS THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE.
- THERE WILL BE NO OUTSIDE STORAGE OR ABOVE-GROUND STORAGE TANKS.
- ALL PUBLIC SERVICES ARE UNDERGROUND.

SITE PLAN

0 5 10 20 40

3/32" = 1' 0"

APROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commision of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT:
NEW COMERCIAL

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOY AN ENGINEERING FIM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION, ALICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED INMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNERS IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSABILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.
1.- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
2.- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
13.- PLANS INDICATE LOCATIONS ONLY: ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

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LEGEND

CM	CONTROLLING MONUMENT		CONCRETE
○	5/8" IRON ROD FOUND		BUILDING
⊠	"X" FOUND IN CONCRETE		PORCH, DECK, ETC.
○	POINT FOR CORNER	OHT	OVERHEAD TELEPHONE
FO	FIBER OPTIC PEDESTAL	OHP	OVERHEAD ELECTRIC
○	POWER POLE		ELECTRIC EASEMENT
	FIRE LANE		METAL FENCE
W	WATER METER		WOOD FENCE
T	TELE. MANHOLE	S	SANITARY SEWER MANHOLE
T	TELE. VAULT	D	STORM DRAIN MANHOLE
V	VACUUM		HANDICAP PARKING
LP	LIGHT POLE	E	ELECTRIC BOX
	UNDERGROUND ELECTRIC	C	CLEANOUT
FH	PROPOSAL FIRE HYDRANT	T	TELEPHONE PEDESTAL
G	GAS METER	TV	CABLE PEDESTAL
V	WATER VALVE		ASPHALT PAVING/ GRAVEL

DIRECTION:

REV. NO.	DATE	COMMENTS
1	21/06/2024	1)- Please provide a note indicating that there will be no outside storage or above ground storage tanks. 2)- An off-street loading dock is not proposed as the building is designed for trucks to load inside 3)- The location of the proposed fire hydrant is shown. 4)- 10' Utility Easement along Whitmore Drive 5)- 5' Sidewalk installed along Whitmore Drive 6)- This unit is shown to connect to Whitmore Drive with a minimum 24' access easement, for which the plan of the owner of the adjacent property was requested and a document is attached 7)-Dumpster areas to drain to oil/water separator and then to the storm lines

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
SITE PLAN

DATE: **04/22/2024**

DRAW BY:
F.G.M

A1

SHEET **02** OF **10**

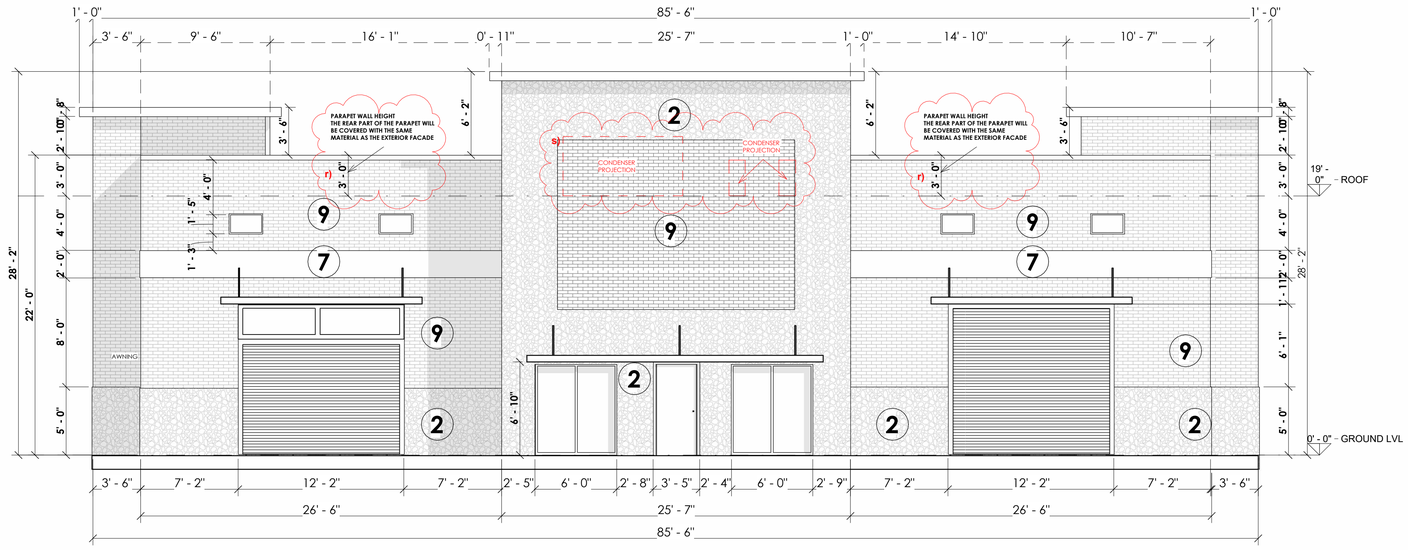
SP2024-032

AREA AND PERCENTAGE OF MATERIALS

		TOTAL AREA	PERCENTAGE
	FRONT ELEVATION	2,312 S.Q. F.T.	100 %
2 & 9	MASONRY MATERIALS	2,136 S.Q. F.T.	94.0 %
9	BRICKS	1,510 S.Q. F.T.	64.0 %
2	NATURAL STONE	616 S.Q. F.T.	30.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	06.0%
	TOTAL	2,312 S.Q. F.T.	100 %

FRONT ELEVATION

3/16" = 1' 0"

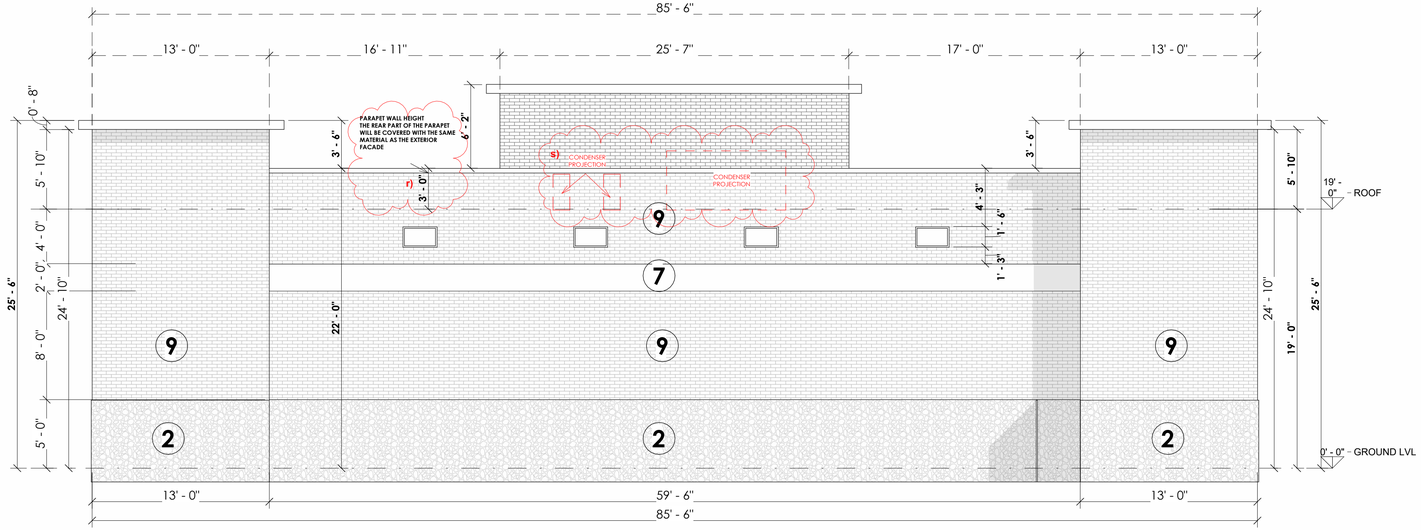


AREA AND PERCENTAGE OF MATERIALS

		TOTAL AREA	PERCENTAGE
	FRONT ELEVATION	2'128 S.Q. F.T.	100 %
2 & 9	MASONRY MATERIALS	2,116 S.Q. F.T.	94.0 %
9	BRICKS	1,415 S.Q. F.T.	73.0 %
2	NATURAL STONE	427 S.Q. F.T.	21.0 %
7	SECONDARY MATERIAL	159 S.Q. F.T.	06.0%
	TOTAL	2,128 S.Q. F.T.	100 %

REAR ELEVATION

3/16" = 1' 0"



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WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT:
NEW COMERCIAL

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

Gamma Group, Design & Construction LLC
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MATERIALS

SYMBOL	SPECIFICATION
1	ALUMINUM SHEETS
2	STONE SMOKED LUEDERS
3	STUCO
4	SIDING
5	WOOD
6	GLASS
7	STANDING SEAM
8	ASPHALT SHINGLES
9	BRICK GEORGETOWN

DIRECTION:

REV. NO.	DATE	COMMENTS
1	22/03/2024	1) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. a) the location of RTUs is indicated

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
ELEVATIONS

DATE: **04/11/2022**

DRAW BY:
F.G.M

A2

SHEET **08** OF **10**

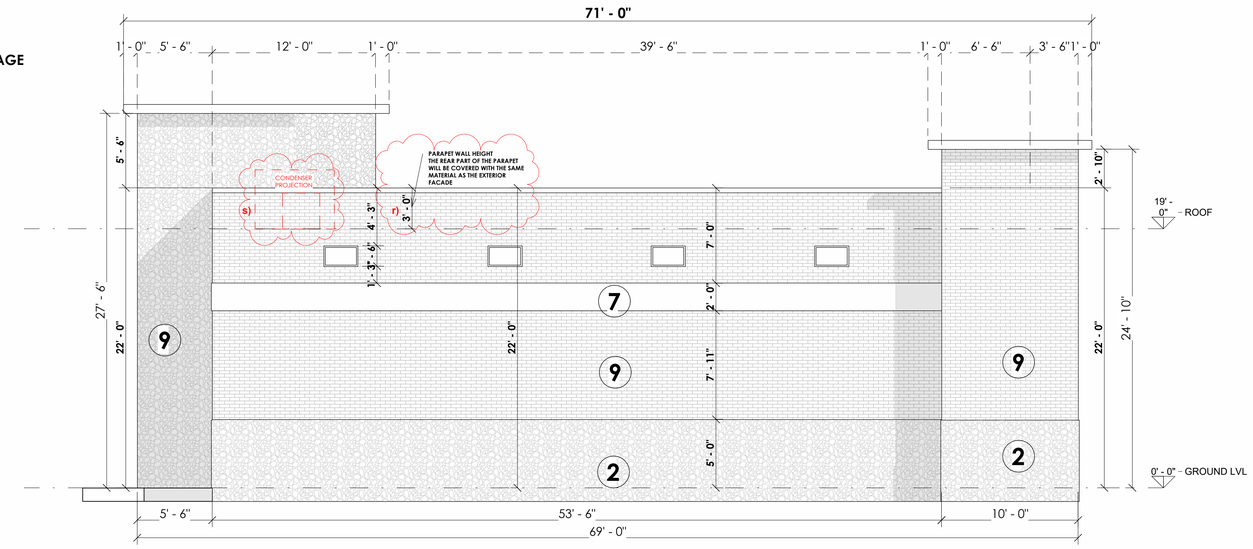
SP2024-032

AREA AND PERCENTAGE OF MATERIALS

		TOTAL AREA	PERCENTAGE
	LEFT ELEVATION	1,801 S.Q. F.T.	100 %
2 & 9	MASONRY MATERIALS	1,693 S.Q. F.T.	93.0 %
9	BRICKS	1,217 S.Q. F.T.	63.0%
2	NATURAL STONE	476 S.Q. F.T.	30.0 %
7	SECONDARY MATERIAL	106 S.Q. F.T.	07.0%
	TOTAL	1,801 S.Q. F.T.	100 %

RIGHT ELEVATION

3/16" = 1' 0"



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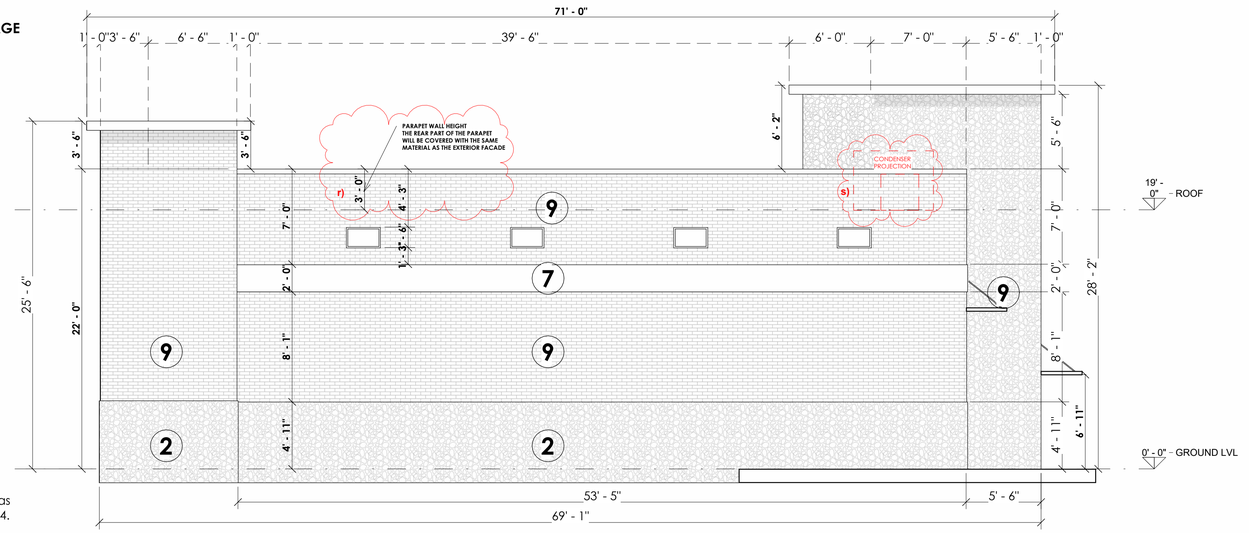

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Planning & Zoning Commission, chairman

Director of Planning and Zoning

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NEW COMERCIAL

OWNER:
SALVADOR SALCEDO

LOCATION:
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DIRECTION:

REV. NO.	DATE	COMMENTS
1	22/03/2024	r)- Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade. s)- the location of RTUs is indicated

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
ELEVATIONS

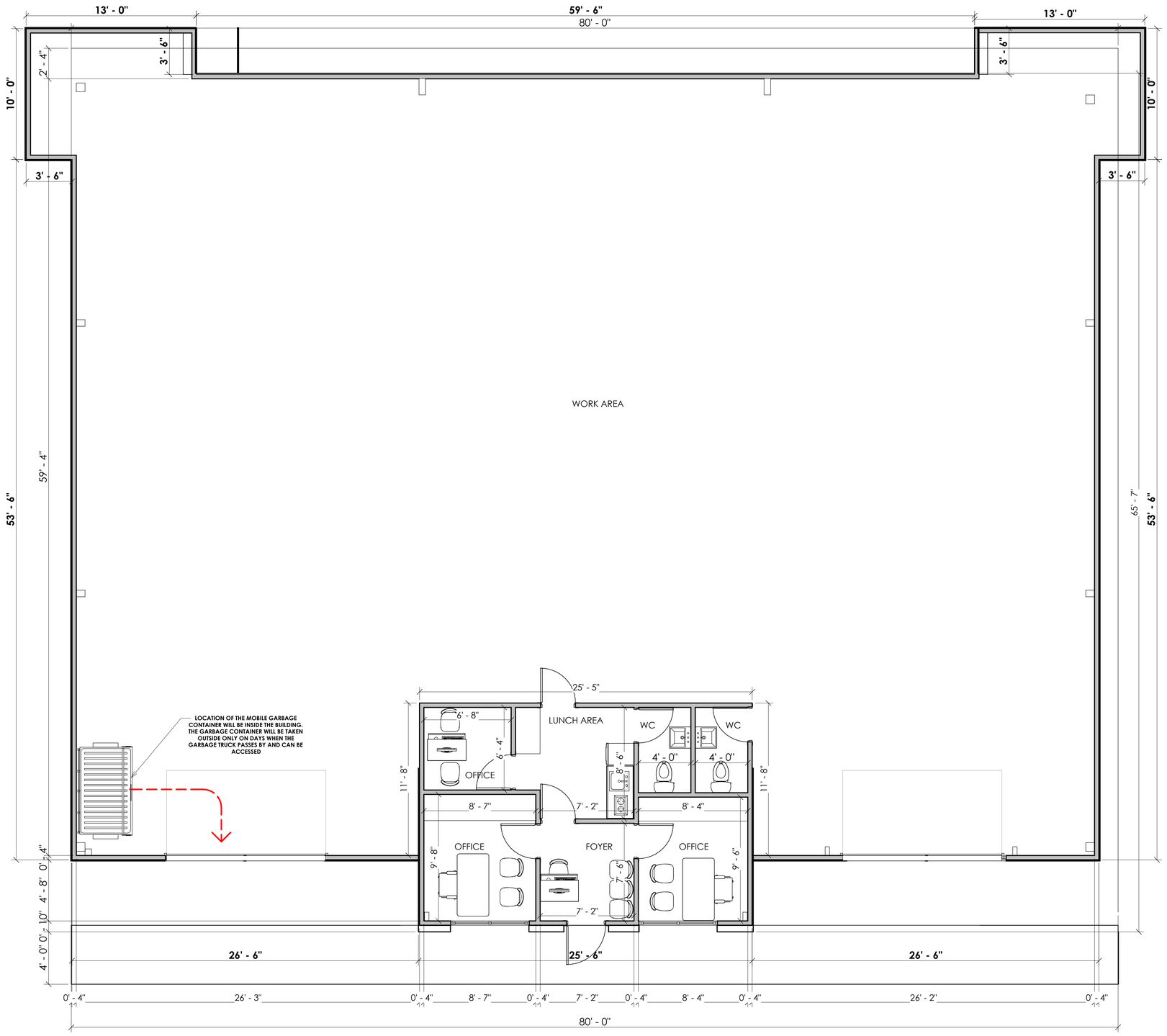
DATE: **04/11/2022**

DRAW BY:
F.G.M

A3

SHEET **09** OF **10**

SP2024-032



FLOOR PLAN

1/4" = 1' 0"

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TABULATION AREA	
WORK AREA	4,656 SQ.FT.
OFFICE	432 SQ.FT.
TOTAL	4,960 SQ.FT.

DIRECTION:

REV. NO.	DATE	COMMENTS
1	21/06/2024	e)- Location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed.

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:

FLOOR PLAN

DATE: **04/11/2022**

DRAW BY:
F.G.M

A1

SHEET **07** OF **10**

SP2024-032

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTINGA PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WI1 THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAN)
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETALED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION;
b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS. AND CONSTRUCT ANO MAINTAN SLOPES AS RECOMMENDED EY THE GEOTECHNICAL. REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRANACE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE. GRADING PLANS, AND AREAS OF POTENIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING. POTENIAL.
c. THELANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WIL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOL AMENDMENTS TO BE ADDED (BASED NA SOIL TEST. PER SPECIFICATIONS). AND THE FINISH GRADES TO BE ESTABLISED.
d. ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO LIS AND OTHER WALKING SURFACE. AFTER INSTALLING SOIL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE. AS SPECIFIED ON THE GRADING PLANS, AT APPROXIVATELY 18" AWAY FROM THE WALES,
e. ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALIS AND OTHER WALKING SURFACE. AFTER INSTALLING SOL AMENDMENTS, 15 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE. AS SPECIFIED ON THE GRADING PLANS, AT APPROXIVATELY 18" AWAY FROM THE WALES,
f. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES. AFTER INSTALLING SOIL AMENDMENTS, 18 9" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOL SURFACE TO MEET FINISH GRADE. AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 19" AY FROM THE WALKS
g. SHOULD ANY CONFLICTS ANDIOR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT. THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH EMS TO THE ATTENION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OVNER.

4. ALLPLANTLOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTINO. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC)

a. THE LANDSCAPE CONTRACTOR 1.5 RESPONSIBLE FOR DETERMINING PLANT GUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWIN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. jF SOME OF THE PLANTS ARE NOT AVALABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS. OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE ONNERIOWNER'S. REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.

5. THE CONTRACTOR SHALL MANTA THE LANDSCAPE IN A HEALTHY CONDITION FOR 50 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF: ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF TE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETALS FOR FURTHER REQUIREMENTS.

MULCHES
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

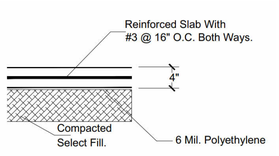
IRRIGATION CONCEPT
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THEIRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALLNON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALLIRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04. OF ARTICLE 08)

CONCRETE:
(A) PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2
(B) UP-TO 20% (BY WEIGHT) OF THE CEMENT CONTENIT MAY BE REPLACED WITH TYPE C FLY ASH. FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303
(C) AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES SHALL NOT BE ALLOWED.
(D) MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE ONCRETE MIX DESICN.
(E) CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 6 1/2 SACK/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
(F) THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITIING PRIOR TO USE.
(G) PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM. 303.5.2.4.
(H) STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM. 303.4.2.3 AND DETAIL ON THIS SHEET.
(I) THERE SHALL BE ZERO TOLERANCES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (J) DEFICIENCY SHALL BE PROVED. REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED. WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADING OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.

CURING:
(A) PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS
(B) THE CONTRACTOR SHALL USE A WHITE PIGMENTED UQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8. AND 303.2.12.1.1

REFERENCE CONCRETE

MIX DESING	MASS PER M³	C1-270- FA10-W165
CLINKER 1: CEM1 52.5R	KG	270
FLY ASH (EN 450)	KG	10
WATER	KG	162
SUPERPLASTICIZER	KG	2.8
RIVER SAND 0-2 mm	KG	597
RIVER GRAVEL 2-8mm	KG	446
RIVER GRAVEL 8-16mm	KG	847
w/c	–	0.61
w_{Creq}	–	0.60



① CONCRETE DETAIL
UNSCALED

APROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commision of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

LANDSCAPE STANDARDS

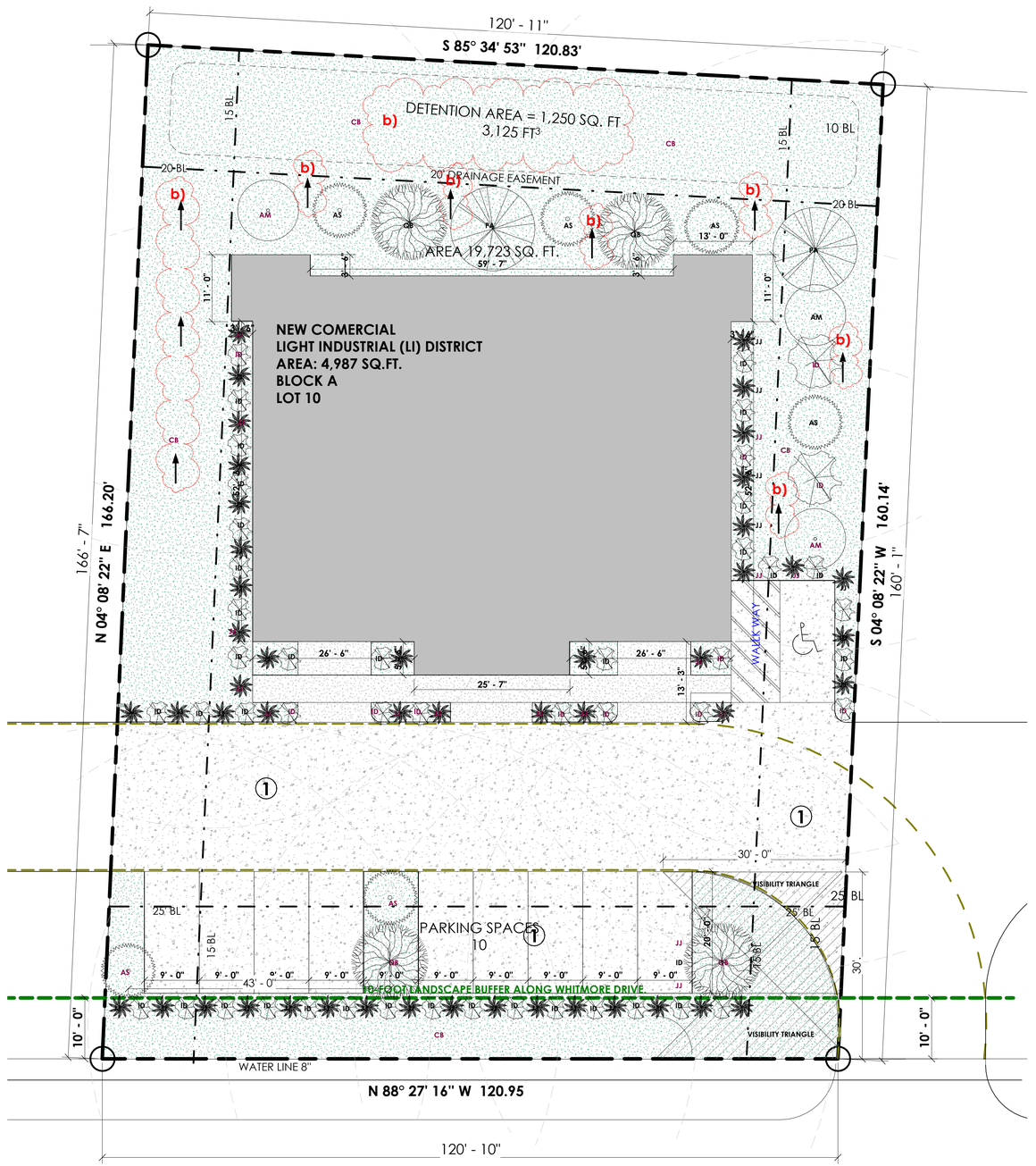
05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.

TOTAL SITE AREA:	±19,737 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT. (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT. (43%)
LOCATION OF LANDSCAPING:	A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT X 100% = 2,960 SQ.FT
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	3,960 SQ.FT. (46%)
MIN. SIZE OF AREAS	ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.
DETENTION BASIN:	DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.
PROPOSED DETENTION BASIN:	1,500 SQ. FT.
CANOPY TREES REQUIRED:	2,960 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE
CANOPY TREES PROVIDED:	3 CANOPY TREE
ACCENT TREES REQUIRED:	2,960 SQ. FT. / 1,500 SQ. FT = 1 ACENT TREE
ACCENT TREES PROVIDED:	2 ACENT TREE
PARKING LOT LANDSCAPING	PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE) SHALL HAVE A MINIMUM FOR FIVE (5%) PERCENT OR 200 SF OF LANDSCAPING -- WHICHEVER IS GREATER -- IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.
PROPOSED PARKING AREA:	2,140 SQ. FT
REQ. PARKING AREA LANDSCAPING:	60 SQ. FT, OR 200 SQ. FT.
PROPOSED PARKING LOT LANDSCAPING:	1,400 SQ. FT.
PARKING SPACES:	(1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT
TREES REQUIRED:	1 LARGE CANOPY TREE
TREES PROVIDED:	2 LARGE CANOPY TREE
05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL	INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FEET ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER. A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUN HEIGHT OF 48- INCHES. IN ADDITION,
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	
420?' STREET FRONTAGE REQUIRED PLANTING:	TWO (1) CANOPY TREES FOUR (2) ACCENT
PROVIDED 10' BUFFER:	TREES SHALL BE PLANTED PER 100-FEET OF LINEAR
SHRUBS	FRONTAGE ALONG THE PRIMARY ROADWAY.

BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

PLANT SCHEDULE

CODE	TREES	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
QB		4	QUERCUS MACROCARPA / BUR OAK	4" CAL	CONT.	14' MIN
AM		3	ACER SACCHARUM 'CADDO'/ CADDO MAPLE	4" CAL	CONT.	12' MIN
PA		2	PINUS ELDARICA /AFGHAN PINE	4" CAL	CONT.	12' MIN
AS		5	ACER TRUNCATUM/ SHANTUNG MAPLE	4" CAL	CONT.	12' MIN
CODE	SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
ID		49	ILEX VOMITORIA 'NANA' / DWARF YAUPON HOLLY	5 GAL.	36" OC	24" MIN
JJ		48	JUNIPERUS SP. /JUNIPER	5 GAL.	36" OC	24" MIN
CODE	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
CB		8,516 SQ.FT	CYNODON DACTYLON / BERMUDA GRASS	SOND		



LANDSCAPE PLAN

NOTE: 3/32" = 1' 0"
THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC.
WATER SHALL NOT BE DIRECTEO TO DRAIN ONTO ADJOINING PROPERTY

Equation for the calculation and sizing of wet ponds — c)

For North Central Texas, the average 85th percentile annual rainfall event is 1.5 inches. Therefore, WQv is calculated using the following formula:
WQv = 1.5 Rv A (1.2) / 12
where:
WQv = water quality protection volume (acre-feet)
Rv = volumetric runoff coefficient
A = total drainage area (acres)

IA = 200/CN - 2
where:
Ia = initial abstraction
CN = curve number

Ia/P
where:
Ia = initial abstraction
P = accumulated rainfall obtained from rainfall tables by county in the Hydrology TM Section 5.0 (inches)
Using the following equation from TR-55 for a Type II rainfall distribution, VS/Vr can be calculated.
VS/Vr = 0.682 – 1.43 (qO/qI) + 1.64 (qO/qI) 2/3- 0.804 (qO/qI)

where:
VS = required storage volume (acre-feet)
Vr = runoff volume (acre-feet)
qO = peak outflow discharge (cfs)
qI = peak inflow discharge (cfs)
The required storage volume can then be calculated by:
VS = (VS/Vr)(Qd)(A) (3.2) / 12
where:
VS and Vr are defined above
Qd= the developed runoff for the design storm (inches)
A = total drainage area (acres)

SITE PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT, (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT, (43%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT:
NEW COMERCIAL
AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOY AN ENGINEERING FIM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION. ALICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSAIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNERS IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSABILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.
1.- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
2.- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
13.- PLANS INDICATE LOCATIONS ONLY: ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAN THE SOLE PROPERTY OF GAMMA GROUp AND CAN NOT BE DUPUCATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERALS THE BUILDER ANDOR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

DIRECTION:

REV. NO.	DATE	COMMENTS
1	21/06/2024	a)- Existing flow patterns are maintained b)- capacity/volume and output shown c)- Landscape calculations are provided for the detention pond area.

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
LANDSCAPE PLANTING PLAN

DATE: **05/01/2023**
DRAW BY: F.G.M

LP1
SHEET **03** OF **10**

SP2024-032

TREE PROTECTION SPECIFICATIONS

MATERIALS

1. " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN 'AVERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T'SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
3. TIE WIRE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF 'ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND. THINNING, AS MAY BE REQUIRED.
3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT. ZONE (GR EQUAL TO FROM THE TRUNK FOR EVERY 1" OF DEH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE
4. ONSULTANT ANDIOR CITY ARBORIST, AND IN ACCORDANCE WITH THE. DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
5. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
6. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLAGE DURING THE ENTIRE. CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY § FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC INA 'STABLE AND UPRIGHT POSITION.
7. WITHN THE CRZ.

   a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
   b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
   c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE
   d. CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING. FAINTING OR LUMBER CUTTING).
   e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES,IRES, BRACING OR ANY OTHER ITEM TO THE TREES.
   f. ONOT PERT RUNOFF FROM WASTE MATERIALS INCLUDING. SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO. PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE. INCLUDING IN AN AREA WHERE RAIN OR 'SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT'SYSTEM OF THE TREE

8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM,
9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR. SUCH AS FOR IRRIGATION INSTALLATIONS PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
10 .THE CONTRACTOR SHALL NOT GUT ROOTS LARGER THAN ONE INGH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING, CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES,
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULGH SHALL BE MAINTAINED. THROUGHOUT CONSTRUCTION.
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE AWEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUGE DUST ACCUMULATION ON THE LEAVES.
17. WHEN INSTALLING CONCRETE ADJAGENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:

  A. AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
  B. AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
  C. AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHEROBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THECONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE ORBURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREASHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

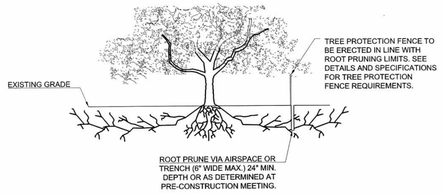
APROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commision of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

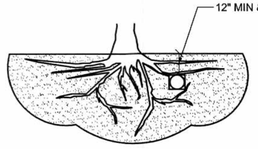
Director of Planning and Zoning



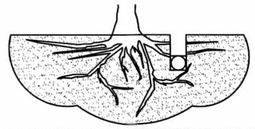
ROOT PRUNING DETAIL

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

EXISTING TREE LEGEND

	EXISTING TREE OFF SITE	10
	EXISTING TREE TO BE REMOVED	10

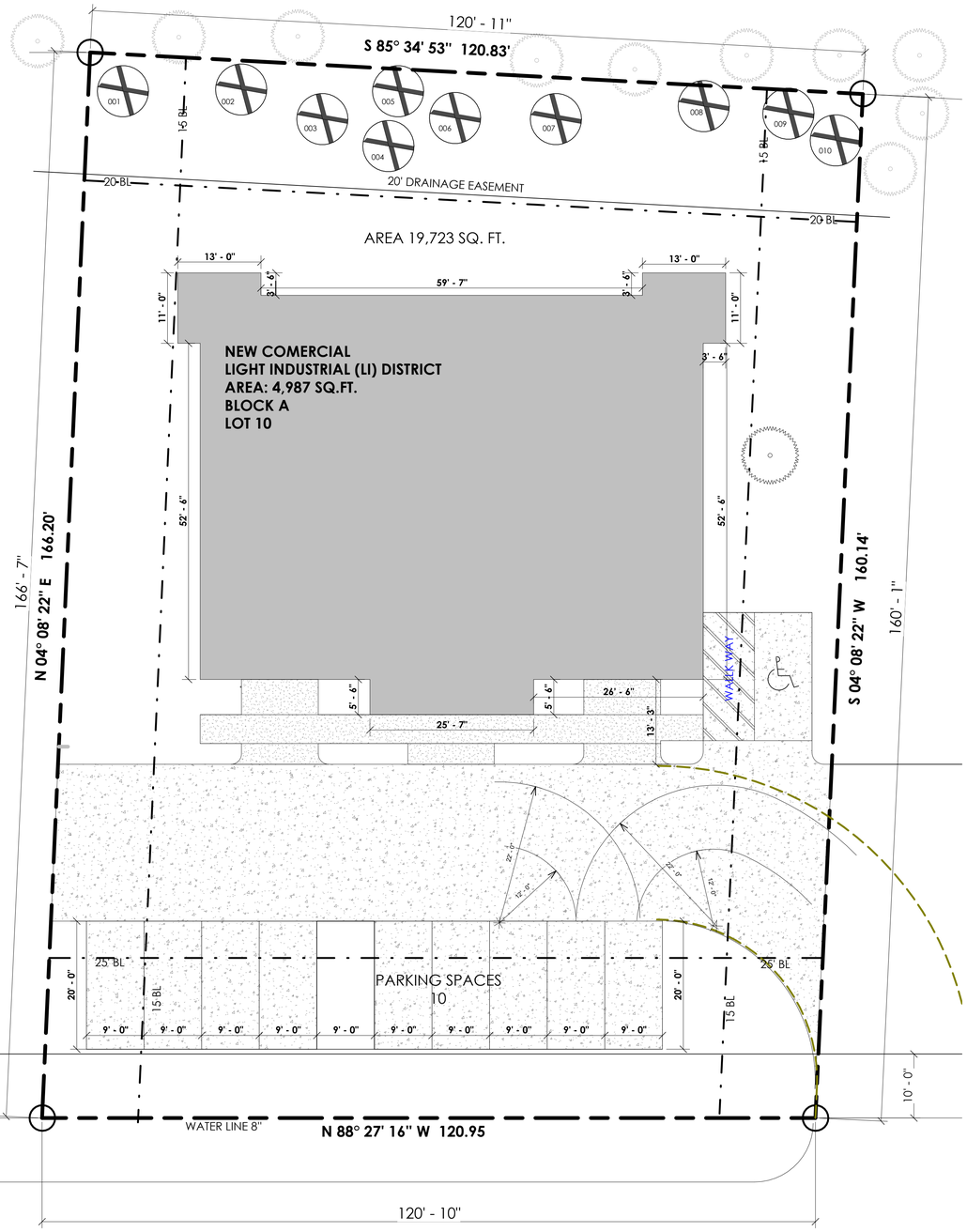
TREE MIGRATION SUMMARY

TOTAL MIGRATION REQUIRED:	40"
PROPOSED CODE REQUIRED TREES:	19"
BALANCE OF MITIGATION:	14"
4" CAL. MITIGATION TREES (5) ON SITE	21"

TREESCAPE PLAN SPRADSHEET

#	SPECIES	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
10	RED OAK	4"	REMOVE	1	N	N	N	40"

TOTAL: 40"



WHITMORE DRIVE

LANDSCAPE PLAN

3/32" = 1' 0"

SITE PLANE DATE	
SIZE OF LOT	19,737 SQ.FT.
BUILDING	4,987 SQ.FT.
LANDSCAPE AREA REQUIRED TOTAL SITE:	2,960 SQ.FT, (15%)
LANDSCAPE PROVIDED, TOTAL SITE:	8,516 SQ.FT, (38%)
DRIVEWAY	3,559 SQ.FT.
PARKING	2,140 SQ.FT.
TOTAL COVERED AREA	11,071 SQ.FT.
COVERAGE PERCENT	56%

PROJECT:
NEW COMERCIAL
AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

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EXISTING TREE LEGEND

EXISTING TREE OFF SITE

EXISTING TREE TO BE REMOVED

DIRECTION:

REV. NO.	DATE	COMMENTS

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
TRESCAPE PLAN DETAILS & SPECIFICATIONS

DATE: **05/01/2023**

DRAW BY:
F.G.M

TD1

SHEET **04** OF **10**

SP2024-032

Performance Data

Electrical Load

ALO Setting	Input Power (W)	120V (A)	208 V (A)	240 V (A)	277 V (A)
ALO:4	13.8	0.11	0.06	0.05	0.05
ALO:3	9.2	0.08	0.04	0.04	0.03
ALO:2	7.8	0.07	0.04	0.03	0.03
ALO:1	6.4	0.05	0.03	0.03	0.02

Lumen Output

ALO Setting	Color Temperature	Lumen Output
ALO:4	3000K	1,591
	4000K	1,649
	5000K	1,667
ALO:3	3000K	1,164
	4000K	1,191
	5000K	1,203
ALO:2	3000K	974
	4000K	994
	5000K	1,025
ALO:1	3000K	814
	4000K	829
	5000K	859

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.027
5°C	41°F	1.023
10°C	50°F	1.018
15°C	59°F	1.012
20°C	68°F	1.006
25°C	77°F	1.000
30°C	86°F	0.993
35°C	95°F	0.986
40°C	104°F	0.979

Projected LED Lumen Maintenance

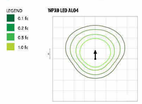
Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08) and projected per IESNA TM-21-11).

To calculate L87, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.93	>0.89	>0.86

Photometric Diagrams

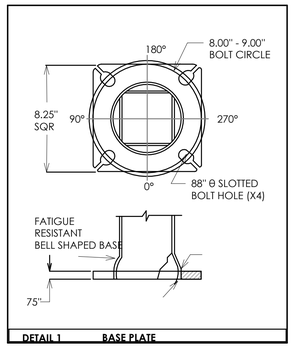
To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



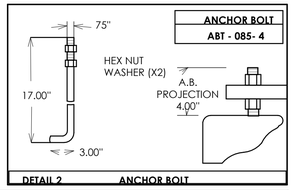
Switchable Features

LITHONIA LIGHTING
COMMERCIAL OUTDOOR
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

WP5D LED
Rev. 10/31/22



DETAIL 1 BASE PLATE



ANCHOR BOLT
ABT - 085- 4

DETAIL 2 ANCHOR BOLT

1) HARDWARE TO BE GALVANIZED TO ASTM A153
2) ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER A153
3) ALL WELDING TO CONFORM TO: AWS D1.1 MOST RECENT EDITION
4) FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STELL CONSTRUCTION) QUALITY CERTIFICATION
5) PROVISIONS FOR CROUNDING LOCATED AT BASE HAND HOLE.

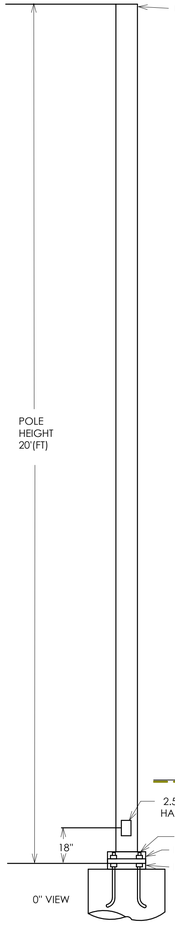
LOADING DATA								
DESIGN CRITERIA:	COMMERCIAL STANDARD							
SPEED (mph)	80	90	100	110	120	130	140	150
EPA FT:	9.6	6.7	4.5	3.5	2.0	0.8	----	----
WEIGHT (lbs)	240	167	150	88	50	20		

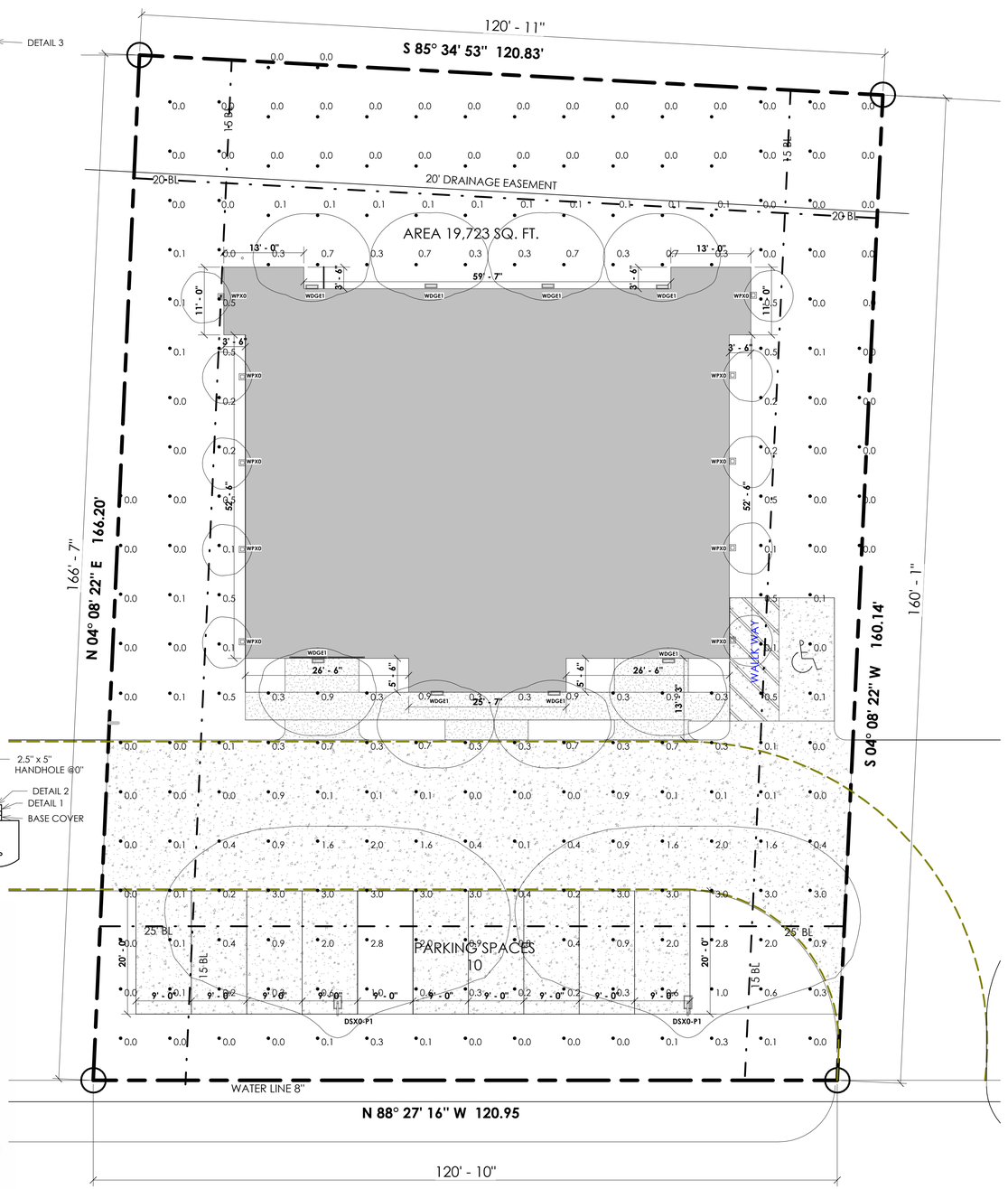
MATERIAL DATA	
COMPONET	ASTM
POLE SHAFT	A500 GR. B
BASE PLATE	A36
ANCHOR BOLTS	F1554 GR.55
MISC., STEEL	A38

FINISH
TBD

POLE DIMENSION DATA						
TYPE	DESING	POLE LENGTH (FT)	BASE DIA (IN)	TOP DIA (IN)	GAUGE OR THK (IN)	WEIGHT (LBS)
	SNS- 20- 40-11- AB	20	4.00	4.00	11 - GA (1196")	140

DETAIL GENERAL NOTES





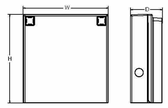
SITE PHOTOMETRICS PLAN

3/32" = 1'-0"

WHITMORE DRIVE

WPX0 LED
Wall Pack

Specifications
Depth (D): 2"
Height (H): 5.75"
Width (W): 5.5"
Weight: 2.5lbs



Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPX family delivers 850 to 9,200 lumens with a wide, uniform distribution.

The WPX0 full cut-off wall pack is an excellent above the door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALO), color switching and switchable photocell make WPX0 ideal for any application.

Ordering Information EXAMPLE: WPX0 LED ALO SWW2 MVOLT PE DDBXD

Series	Color Temperature	Voltage	Controls	Finish
WPX0 LED ALO 850 - 1,500 Lumens	SWW2 3000K / 4000K / 5000K	MVOLT 120V - 277V	PE Photocell (On/Off)	DDBXD Dark bronze

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration.

NOTES:
Default out of the box settings: 1,650 Lumens, 4000K, Photocell enabled

FEATURES & SPECIFICATIONS

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy efficient solution for the one-for-one replacement of existing HID wall packs. The WPX0, WPX1, WPX2 and WPX3 are is ideal for replacing up to 70W, 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION
Die-cast aluminum and cast aluminum mark body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66-rated, and sealed against moisture or environmental contaminants.

ELECTRICAL
Light engine consist of high-efficacy LEDs and LED Lumen maintenance of Life>100,000 hours. Color temperature (CCT) can be switched between 3000K, 4000K and 5000K with minimum CRI of 80. Electronic driver ensures system power factor >90% and THD <20%. The luminaire operates on MVOLT (120V - 277V) input.

A module inside the luminaire allows the installer to not only switch between CCTs, but also the adjust the lumen output and switch on and off the photocell (PE).

INSTALLATION
WPX can be mounted directly over a standard electrical junction box. A port on the back surface allows pole-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS
CSA certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are expressly disclaimed. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LITHONIA LIGHTING
COMMERCIAL OUTDOOR
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WPX0 LED
Rev. 10/31/22

LUMINAIRE SCHEDULE

SYMBOL	TYPE	QTY	MANUFACTURER / CATALOG NUMBER	TOTAL LUMEN OUTPUT	TOTAL INPUT WATTS	BALLAST FACTOR	LIGHT LOST FACTOR	USER DEFINED FACTOR
DSX0-P1	P	2	2 DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD / D-SERIES SIZE 0 LED AREA LUMINAIRE (LITHONIALIGHTING)	8,800	68.11	1.000	0.850	1.000
WDGE1	W	8	WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD / WDGE1 LED ARCHITECTURAL WALL SCONCE (LITHONIALIGHTING)	7,200	24	1.000	0.800	1.000
WPX0	W	10	WPX0 LED ALO SWW2 MVOLT PE DDBXD / WPX0 LED WALL PACK (LITHONIALIGHTING)	6,940	20	1.000	0.850	1.000

APROVED:

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WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT:
NEW COMERCIAL
AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE,
ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

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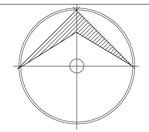
NOTES:

1. SURFACE REFLECTANCES: VERTICAL/HORIZONTAL - 50/20
2. MOUNTING HEIGHTS ARE DESIGNATED ON DRAWING WITH E2
3. LUMINAIRE DESCRIPTION DOES NOT NESSARLY REFLECTS SPECIFICATION MODEL NUMBER. CONTACT SALESPERSON FOR VERIFICATION.
4. LIGHTING POWER DENSITY IS CALCULATED BASED ON ESTIMATED BALLAST/DRIVER ENERGY CONSUMPTION. ENGINEER TO VERIFY
5. FOR LUMEN OUTPUT OF SCALE LUMINAIRES, MULTIPLY TOTAL LUMEN OUTPUT BY USER DEFINED FACTOR.
6. CALCULATION VALUES ARE AT HEIGHT INDUCATED IN SUMMARY TABLE

DIRECTION:



REV NO.	DATE	COMMENTS

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
SITE PHOTOMETRICS & DETAILS

DATE: **05/01/2023**

DRAW BY:
F.G.M

E1

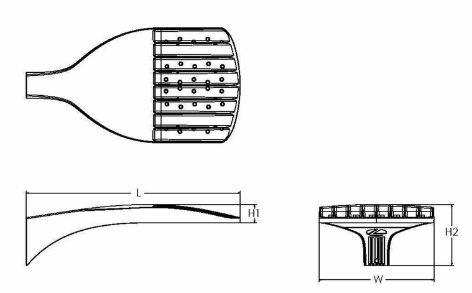
SHEET **05** OF **10**

SP2024-032

D-Series Size 0
LED Area Luminaire

d"series

Specifications



EPA:	0.44 ft² (0.04 m²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED

Series	LEDs	Color temperature[2]	Color Rendering Index[2]	Distribution	Voltage	Mounting
DSX0 LED	Forward optics: P1, P2, P3, P4, P5, P6, P7; Rotated optics: P10[1], P11[1], P12[1], P13[1]	(this section 70CRI only) 30K 3000K, 40K 4000K, 50K 5000K; (this section 80CRI only, extended lead times apply) 27K 2700K, 30K 3000K, 35K 3500K, 40K 4000K, 50K 5000K	70CRI, 70CRI, 70CRI; 80CRI, 80CRI, 80CRI, 80CRI, 80CRI	AFR Automotive front row; T1S Type I short; T2M Type II medium; T3M Type III medium; T3LG Type III low glare[3]; T4M Type IV medium; T4LG Type IV low glare[3]; TFTM Forward throw medium; T5M Type V medium; T5LG Type V low glare; T5W Type V wide; BLC3 Type III backlight control[3]; BLC4 Type IV backlight control[3]; LCCO Left corner cutoff[3]; RCCO Right corner cutoff[3]	MVOLT (120V-277V)[4]; HVOLT (347V-480V)[5,6]; XVOLT (277V-480V)[7,8]; 120[16,24]; 208[16,24]; 240[16,24]; 277[16,24]; 347[16,24]; 480[16,24]	Shipped included: SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole); RPA Round pole mounting (#8 drilling, 3" min. RND pole); SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole)[9]; RPA5 Round pole mounting (#5 drilling, 3" min. RND pole)[9]; SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole); WBA Wall bracket[10]; MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)

Control options		Other options	Finish (required)
Shipped installed: NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.[11,12,18,19]; PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc[13,18,19]; PER NEMA twist-lock receptacle only (controls ordered separate)[14]; PER5 Five-pin receptacle only (controls ordered separate)[14,19]	PER7 Seven-pin receptacle only (controls ordered separate)[14,19]; FAO Field adjustable output[15,19]; BL30 Bi-level switched dimming, 30%[16,19]; BL50 Bi-level switched dimming, 50%[16,19]; DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)[17]	Shipped installed: HS Houseside shield (black finish standard)[20]; L90 Left rotated optics[1]; R90 Right rotated optics[1]; CCE Coastal Construction[21]; HA 50°C ambient operation[22]; BAA Buy America(n) Act Compliant; SF Single fuse (120, 277, 347V)[24]; DF Double fuse (208, 240, 480V)[24]; Shipped separately: EGSR External Glare Shield (reversible, field install required, matches housing finish); BSDB Bird Spikes (field install required)	DDBXD Dark Bronze; DBLXD Black; DNAXD Natural Aluminum; DWHXD White; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	50°F	1.02
20°C	68°F	1.01
25°C	**77°F**	**1.00**
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

Current (A) applies to the 120V–480V columns.

LED Color Temperature / Color Rendering Multipliers

	70 CRI Lumen Multiplier	70 CRI Availability	80CRI Lumen Multiplier	80CRI Availability	90CRI Lumen Multiplier	90CRI Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

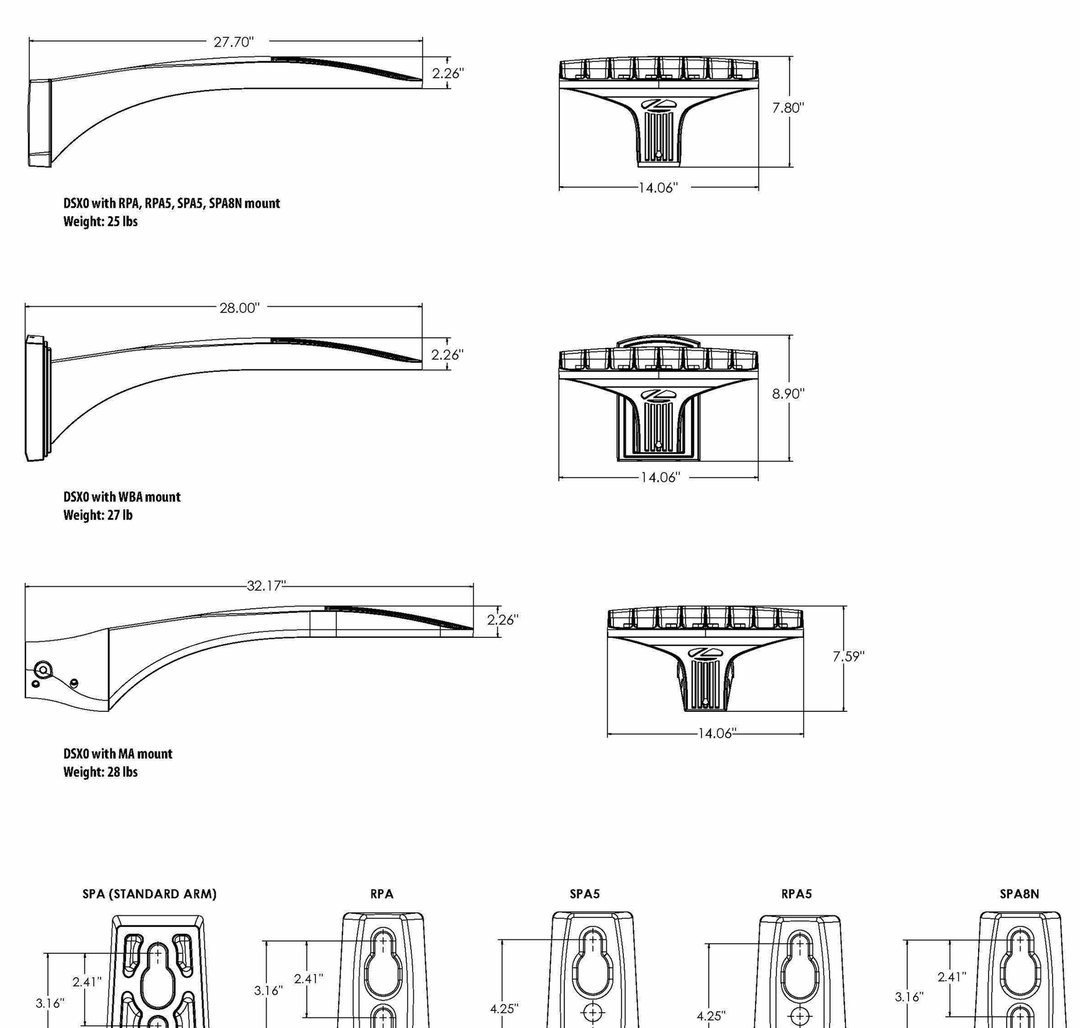
Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

Dimensions



DSX0 with RPA, RPA5, SPA5, SPA8N mount
Weight: 25 lbs

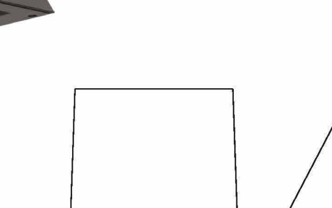
DSX0 with WBA mount
Weight: 27 lb

DSX0 with MA mount
Weight: 28 lbs

SPA (STANDARD ARM) — RPA — SPA5 — RPA5 — SPA8N

WDGE1 LED
Architectural Wall Sconce

Specifications



Depth (D1):	5.5"
Depth (D2):	1.5"
Height:	8"
Width:	9"
Weight: (without options)	9 lbs

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Lumens (4000K) applies to P1–P6.

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1, P2	27K 2700K; 30K 3000K; 35K 3500K; 40K 4000K; 50K[1] 5000K	80CRI, 90CRI	VF Visual comfort forward throw; VW Visual comfort wide	MVOLT; 347[2]	Shipped included: SRM Surface mounting bracket; ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only)[5]; Shipped separately: AWS 3/8inch Architectural wall spacer; PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.

Options	Finish	
E4WH[3] Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze	DDBTXD Textured dark bronze
PE[4] Photocell, Button Type	DBLXD Black	DBLBXD Textured black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum	DNATXD Textured natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White	DWHGXD Textured white
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone	DSSTXD Textured sandstone
BAA Buy America(n) Act Compliant		

Accessories
Ordered and shipped separately.
WDGEAWS DDBXD — WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1PBBW DDBXD U — WDGE1 surface-mounted back box (specify finish)

NOTES
1. 50K not available in 90CRI.
2. 347V not available with E4WH, DS or PE.
3. E4WH not available with PE or DS.
4. PE not available with DS.
5. Not qualified for DLC. Not available with E4WH.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K Lumens	LPW	B	U	G	30K Lumens	LPW	B	U	G	35K Lumens	LPW	B	U	G	40K Lumens	LPW	B	U	G	50K Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

27K (2700K, 80 CRI); 30K (3000K, 80 CRI); 35K (3500K, 80 CRI); 40K (4000K, 80 CRI); 50K (5000K, 80 CRI).

Electrical Load

Performance Package	System Watts	120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Current (A) applies to the 120V–347V columns.

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics

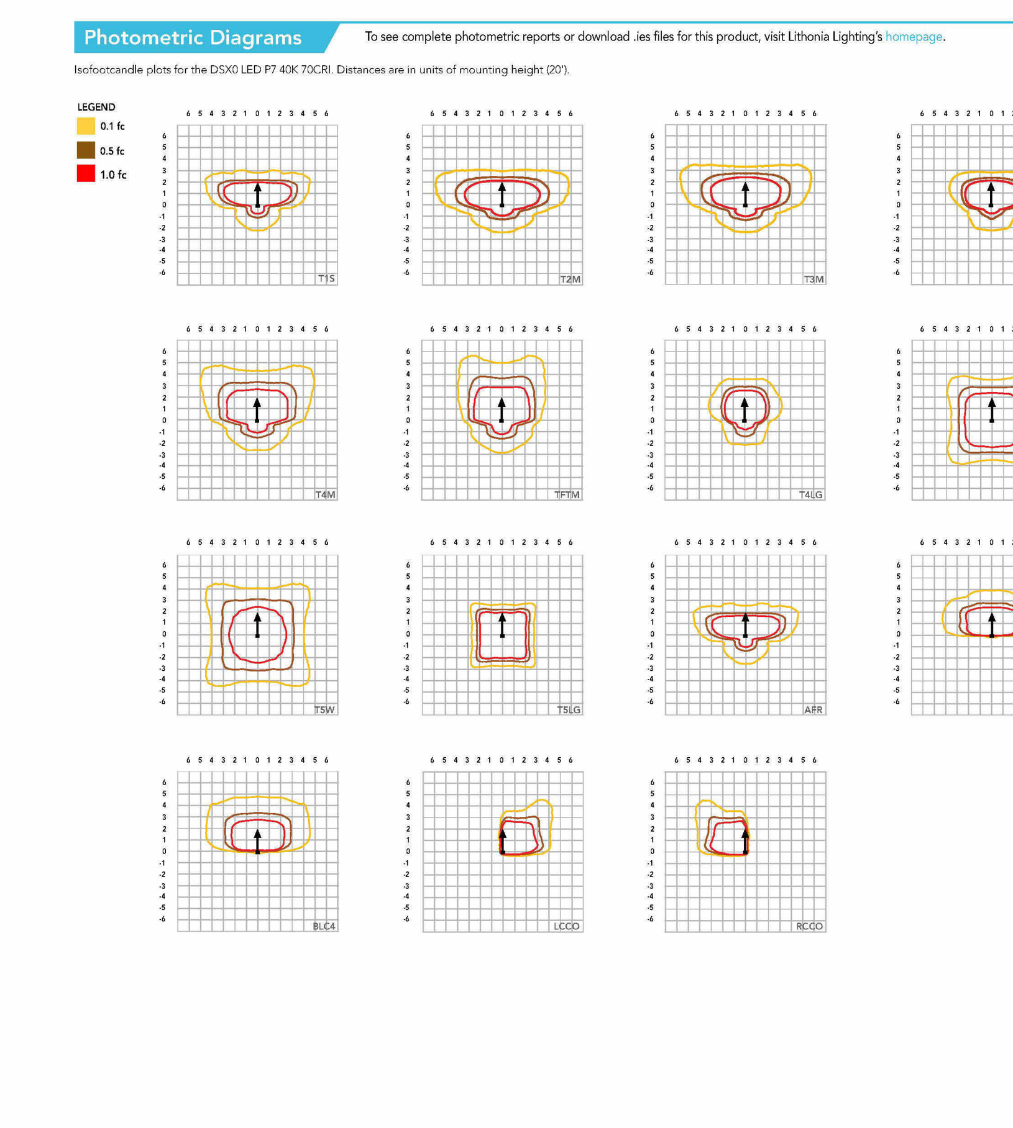
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K Lumens	B	U	G	LPW	40K Lumens	B	U	G	LPW	50K Lumens	B	U	G	LPW
P1	33W	20	530	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	1	156
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
P2	45W	20	700	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
				T2M	5,862	1	0	2	130	6,109	1	0	2	135	6,228	1	0	2	138
				T3M	5,930	1	0	3	131	6,180	1	0	3	137	6,301	1	0	3	140
				T3LG	5,297	1	0	1	117	5,521	1	0	1	122	5,628	1	0	1	125
				T4M	6,018	1	0	3	133	6,272	1	0	3	139	6,395	1	0	3	142
				T4LG	5,474	1	0	1	121	5,705	1	0	1	126	5,816	1	0	1	129
				TFTM	6,060	1	0	3	134	6,316	1	0	3	140	6,439	1	0	3	143
				T5M	6,192	3	0	1	137	6,453	3	0	2	143	6,579	3	0	2	146
				T5W	6,293	3	0	2	139	6,558	3	0	2	145	6,686	3	0	2	148
				T5LG	6,210	2	0	1	138	6,472	3	0	1	143	6,598	3	0	1	146
				BLC3	4,313	0	0	2	96	4,495	0	0	2	100	4,583	0	0	2	102
				BLC4	4,455	0	0	2	99	4,643	0	0	2	103	4,733	0	0	2	105
				RCCO	4,352	0	0	2	96	4,536	0	0	2	100	4,624	0	0	2	102
				LCCO	4,352	0	0	2	96	4,536	0	0	2	100	4,624	0	0	2	102
				AFR	6,328	1	0	1	140	6,595	1	0	1	146	6,724	1	0	1	149
P3	69W	20	1050	T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
				T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
				T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
P4	93W	20	1400	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130
				T2M	10,557	2	0	3	113	11,003	2	0	3	118	11,217	2	0	3	121
				T3M	10,680	2	0	3	115	11,130	2	0	3	120	11,347	2	0	3	122
				T3LG	9,540	1	0	2	103	9,942	1	0	2	107	10,136	1	0	2	109
				T4M	10,839	2	0	3	117	11,296	2	0	3	121	11,516	2	0	4	124
				T4LG	9,858	1	0	2	106	10,274	1	0	2	110	10,474	1	0	2	113
				TFTM	10,914	2	0	3	117	11,374	2	0	3	122	11,596	2	0	3	125
				T5M	11,152	4	0	2	120	11,622	4	0	2	125	11,849	4	0	2	127
				T5W	11,332	4	0	3	122	11,811	4	0	3	127	12,041	4	0	3	129
				T5LG	11,184	3	0	1	120	11,656	3	0	2	125	11,883	3	0	2	128
				BLC3	7,768	0	0	2	83	8,096	0	0	2	87	8,254	0	0	2	89
				BLC4	8,023	0	0	3	86	8,362	0	0	3	90	8,524	0	0	3	92
				RCCO	7,838	1	0	2	84	8,169	1	0	2	88	8,328	1	0	2	90
				LCCO	7,838	1	0	2	84	8,169	1	0	2	88	8,328	1	0	2	90
				AFR	11,396	1	0	2	122	11,877	1	0	2	128	12,109	2	0	2	130

30K (3000K, 70 CRI); 40K (4000K, 70 CRI); 50K (5000K, 70 CRI).

Photometric Diagrams

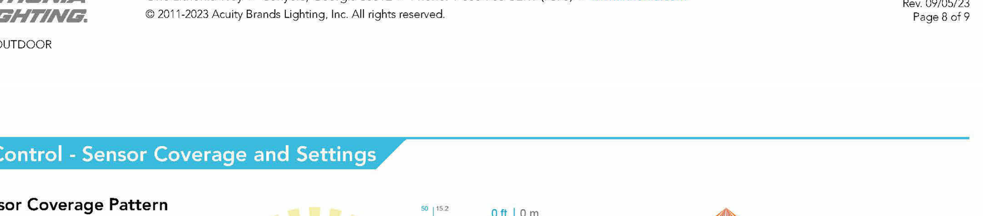
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's homepage.

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



nLight Control - Sensor Coverage and Settings

nLight Sensor Coverage Pattern
NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE
The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION
Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)
Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS
Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL
Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS
The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programing and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS
The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclypse. Additional information about nLight Air can be found here.

INSTALLATION
Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS
UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN ACT
Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

WDGE1 LED P2 40K 80CRI VW — WDGE1 LED P2 40K 80CRI VF

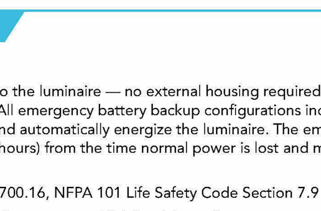
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.



WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

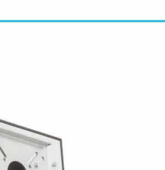
Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Mounting, Options & Accessories

E4WH – 4W Emergency Battery Backup
D = 5.5"
H = 8"
W = 9"



PBBW – Surface-Mounted Back Box
Use when there is no junction box available.
D = 1.75"
H = 8"
W = 9"

AWS – 3/8inch Architectural Wall Spacer
D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE
Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION
The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH
Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS
Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL
Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION
A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS
CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT
Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.
Please refer to www.acuitybrands.com/buy-american for additional information.

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www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

APROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commision of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT:
NEW COMERCIAL
AIR CONDITIONING EQUIPMENT STORAGE

OWNER:
SALVADOR SALCEDO

LOCATION:
855 WHITMORE DRIVE, ROCKWALL, TX

Gamma Group, Design & Construction LLC
33 09 ELM ST # 250, Dallas Texas, 75228
www.gammagroup-usa.com
(469)-583-7174 & (469)-463-2761

ENGINEERING GENERAL NOTES

GAMMA GROUP, WE ARE NOY AN ENGINEERING FIM, WE DO NOT QUALIFY TO BE ONE, NOT ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WINDBRACING OR FOUNDATION, ALICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED INMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGNS. SHOULD AN ENGINEER´S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR ALL RESPONSABILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. THE DESIGNERS IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

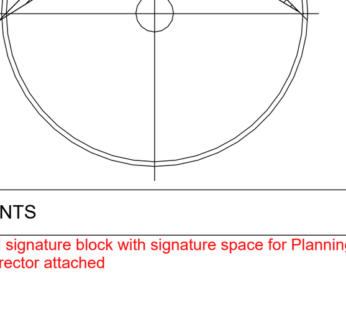
NOTE:
GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IT IS THE RESPONSABILITY OF PURCHASER, OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.
1.- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
2.- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
13.- PLANS INDICATE LOCATIONS ONLY: ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

CONTRACTOR NOTES

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAN THE SOLE PROPERTY OF GAMMA GROUp AND CAN NOT BE DUPUCATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERALS THE BUILDER ANDOR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

DIRECTION:



REV. NO.	DATE	COMMENTS
1	22/03/2024	b)-Standard signature block with signature space for Planning and Zoning Chair and Planning Director attached

EXPIRATION DATE:

PAPER SIZE 36X24

PLAN:
SITE PHOTOMETRICS
DETAILS

DATE: **05/01/2023**

DRAW BY: F.G.M

E2

SHEET **06** OF **10**

SP2024-032

July 02, 2024,

Henry Lee, AICP
Senior Planner
Planning and Zoning Department
385 S Goliad Street
Rockwall, TX 75087
HLee@rockwall.com
972.7726434

RE: Gamma Group, Design and Construction | Site plan presentation | Site Plan Variations

Henrry,

As stated in the comment letter on Nova air (Project SP2024-032),
We are looking for variations of the following:

Variation request for unprotected loading docks.

An off-street loading dock is not proposed as the building is designed for trucks to load inside.

Regarding compensatory measures, we consider that we have met the objective of the following measures:

Greater landscaping:
All decorative trees are proposed at a height of 10 feet (6 feet higher than required)
All bushes are proposed in 5 gallons (more than the 3 gallons where allowed).
Landscaping percentage: 15% is required and we are calculating 45% landscaping.

We have improved the landscaping around the front of the building by more than
requirements to add a natural element to the site/building connection.

Site Design: Although not a written compensatory measure, to create a visually attractive project, the Civil Engineer, Landscape Architect and Architect.

Together they created a more attractive approach from Whitmore drive (the dominant "vision" of the This design intention linked to the compensatory measure of the previous landscape design creates a more cohesive and aesthetic environment.
nice project.
Our sincere hope is that with all the above and attention to the aesthetics of the site design,
The landscape design and building design culminate with the approval of the requested variances and the exception for the tilting panel, and that this will create another great building for the city of Rockwall and for use of our client.

Sincerely,